

HIGH RIVER



HIGHWOOD VILLAGE NORTH APARTMENTS

LEGAL ADDRESS: UNIT 3, PLAN 151 1184



Submitted for DEVELOPMENT PERMIT APPLICATION

Note: Images shown herein are artist's representations of proposed project. Images subject to revision per the permit process and Town approval.

CONSULTANT LIST & DRAWING INDEX

ARCHITECTURAL

SYSTEMIC
ARCHITECTURE
1000 10th Street, Suite 100
High River, Alberta T1V 2V5
Tel: 403.263.1111
www.systemic.ca

0101	ARCHITECTURAL	100%
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SURVEY

TRONNES
SURVEYING
1000 10th Street, Suite 100
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CIVIL ENGINEERING

VERITAS
CONSULTANTS
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TLJ
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OBSESSION
LANDSCAPE
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Tel: 403.263.1111
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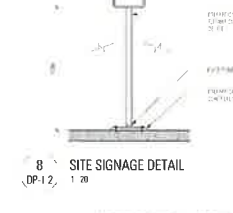
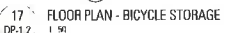
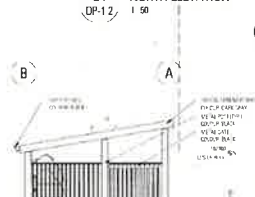
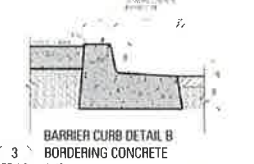
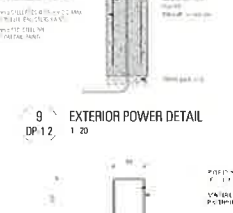
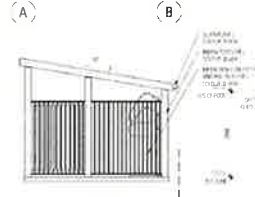
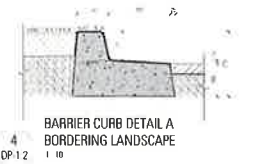
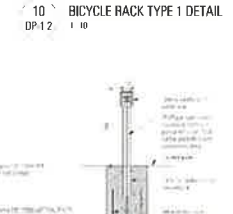
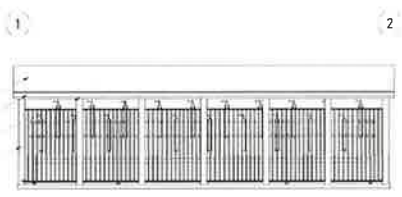
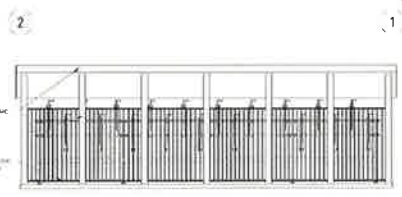
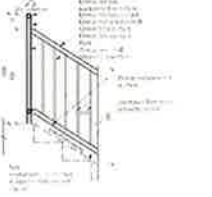
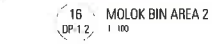
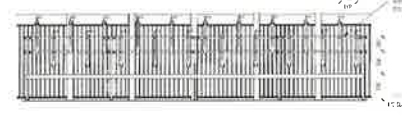
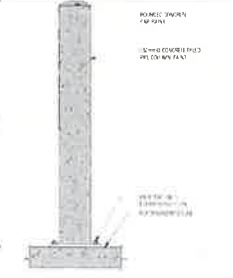
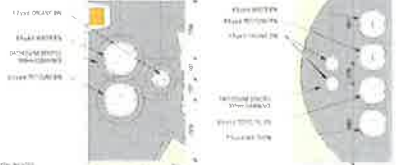
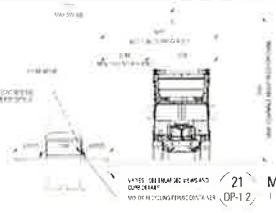
SYSTEMIC
ARCHITECTURE
1000 10th Street, Suite 100
High River, Alberta T1V 2V5
Tel: 403.263.1111
www.systemic.ca

Project	0151
Project No.	0151
Site Location	1000 10th Street, Suite 100
Site Area	1000 sq. ft.
Project Name	High River

**TOWN OF HIGH RIVER
TENTATIVE APPROVAL ONLY
CONDITIONS: SEE SCHEDULE A**

S. Hock

2025.03.21 2025.04.11
VALID EXPIRES



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NOTES

ISSUED FOR REVISIONS	
Revision	Date
1	2024.03.14
2	2024.03.14
3	2024.03.14
4	2024.03.14
5	2024.03.14
6	2024.03.14
7	2024.03.14
8	2024.03.14
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20	2024.03.14
21	2024.03.14
22	2024.03.14
23	2024.03.14
24	2024.03.14

**HIGHWOOD VILLAGE
NORTH APARTMENTS**

**SITE DETAILS AND
WASTE & RECYCLING**

Systemic Architecture Inc.
100-1000 Armstrong Road
Highwood Village, Canada T2K 0K9
Tel: 416-291-1000

DP-1.2

**TOWN OF HIGH RIVER
TENTATIVE APPROVAL ONLY
CONDITIONS: SEE SCHEDULE A**

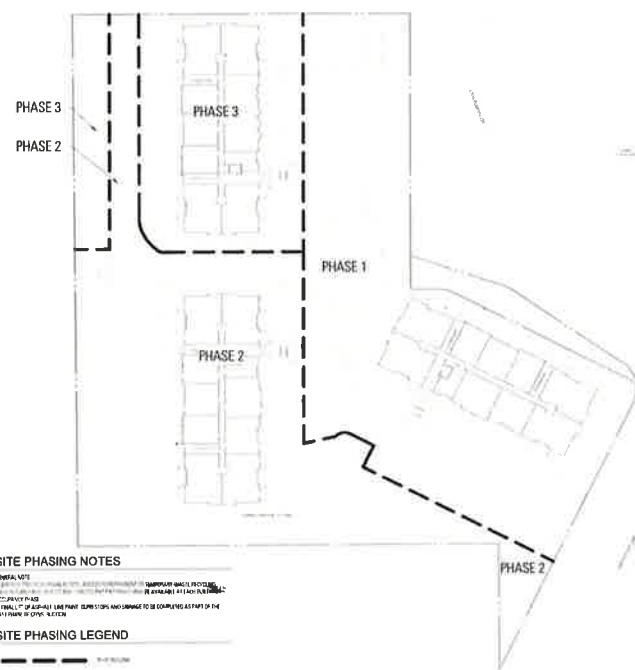
S. Heck

VALID 2025.03.21 EXPIRES 2025.04.11

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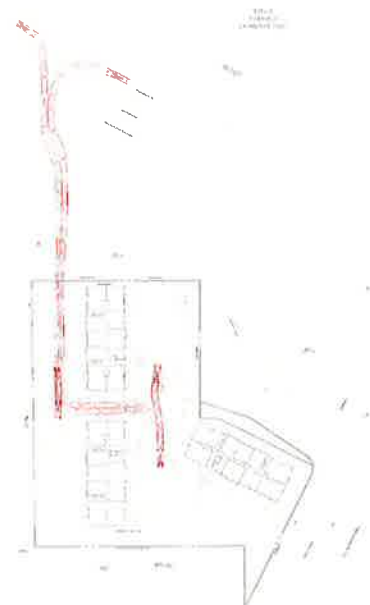
ARCHITECT'S SEAL
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NOTES



SITE PHASING NOTES
 GENERAL NOTE: ALL PHASING NOTES ARE TO BE READ IN CONJUNCTION WITH THE SUPPLEMENTAL NOTES PROVIDED HEREON. ALL PHASING NOTES ARE TO BE READ IN CONJUNCTION WITH THE SUPPLEMENTAL NOTES PROVIDED HEREON.
 1. PHASE 1 SHALL BE CONSTRUCTED FIRST.
 2. PHASE 2 SHALL BE CONSTRUCTED SECOND.
 3. PHASE 3 SHALL BE CONSTRUCTED THIRD.
 4. ALL PHASING NOTES SHALL BE COMPLIED AS PART OF THE CONSTRUCTION OF THE PROJECT.

SITE PHASING LEGEND
 - - - - - PHASE BOUNDARY



2 PHASING PLAN
 DP-1.3
 1:500
 TRUE NORTH

1 GARBAGE TRUCK
 DP-1.3
 1:1000
 TRUE NORTH

ISSUED FOR / REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	2025.03.21
2	ISSUED FOR PERMIT	2025.03.21
3	ISSUED FOR PERMIT	2025.03.21
4	ISSUED FOR PERMIT	2025.03.21

**HIGHWOOD VILLAGE
NORTH APARTMENTS**

**SITE PLANS - TRUCK
TURNING AND
PHASING PLAN**

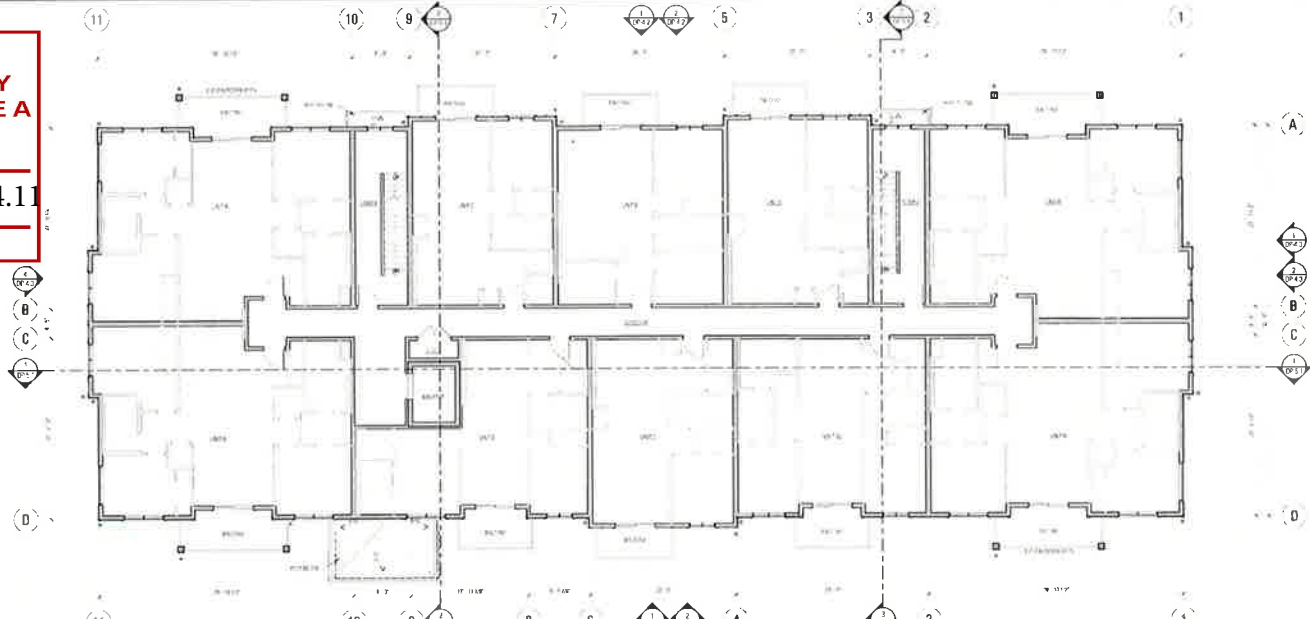
SYSTEMIC Architecture Inc.
 102 - 1422 Korngut Road
 Calgary, Alberta, Canada T2C 1S9
 403.243.8888

DP-1.3

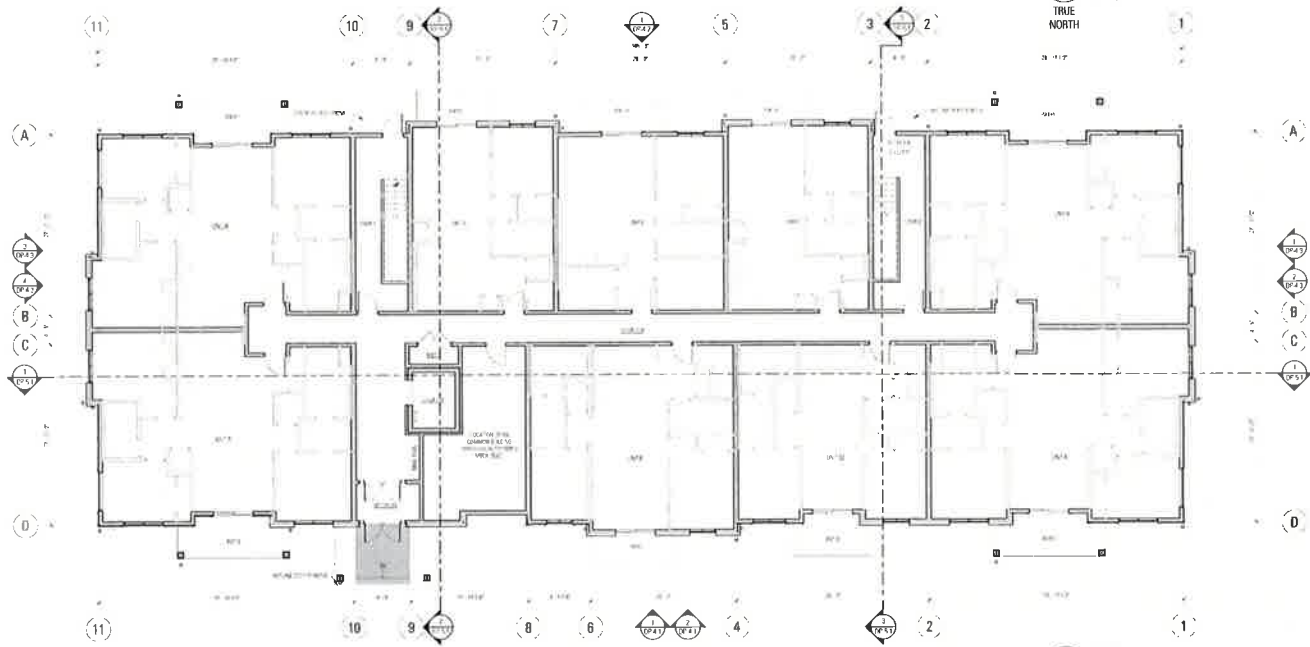
**TOWN OF HIGH RIVER
TENTATIVE APPROVAL ONLY
CONDITIONS: SEE SCHEDULE A**

S. Park

2025.03.21 2025.04.11
VALID _____ EXPIRES _____



2 BUILDING 1 - LEVEL 2 FLOOR PLAN
DP-2.1 1/8" = 1'-0"



1 BUILDING 1 - LEVEL 1 FLOOR PLAN
DP-2.1 1/8" = 1'-0"

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**PRELIMINARY
NOT FOR CONSTRUCTION**

NOTES

ISSUED FOR REVISIONS

Revision	Date	By
1	03/21/25	SP
2	03/21/25	SP
3	03/21/25	SP
4	03/21/25	SP
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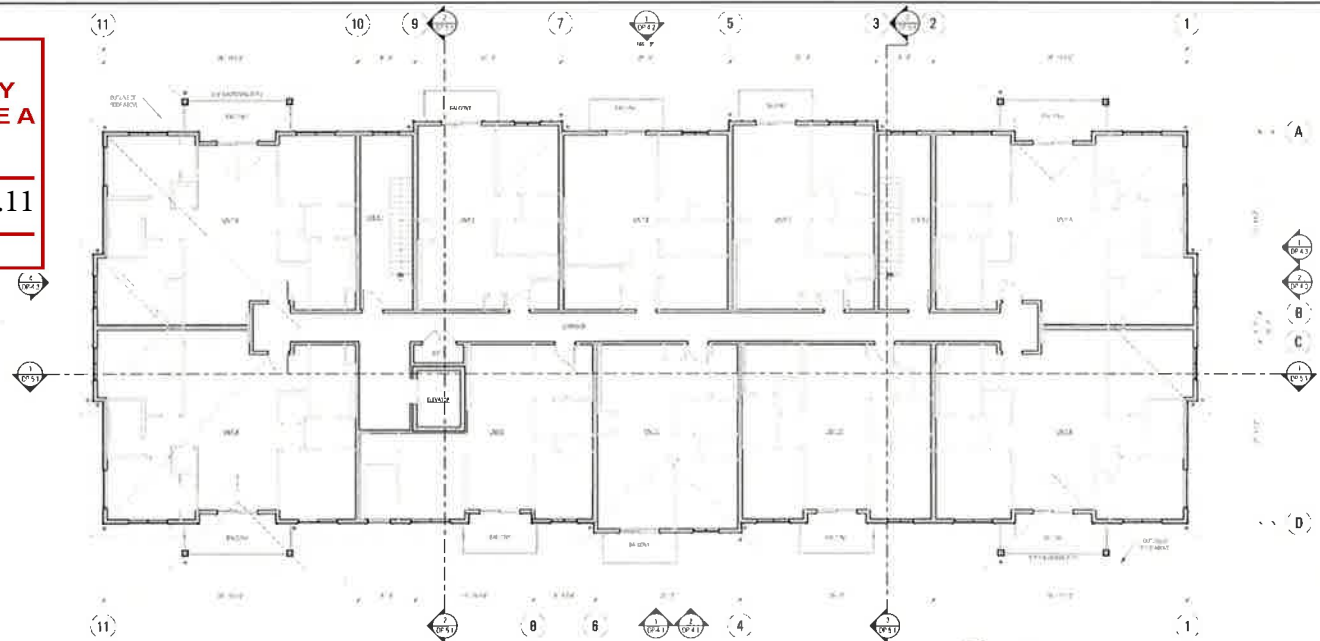
SYSTEMIC ARCHITECTURE INC.
1021 N. 10th Street, Suite 100
Highwood Village, CO 80111
303.440.1111
www.systemicarch.com

Project	Building Number
Highwood Village North Apartments	DP-2.1
Highwood Village North Apartments	1

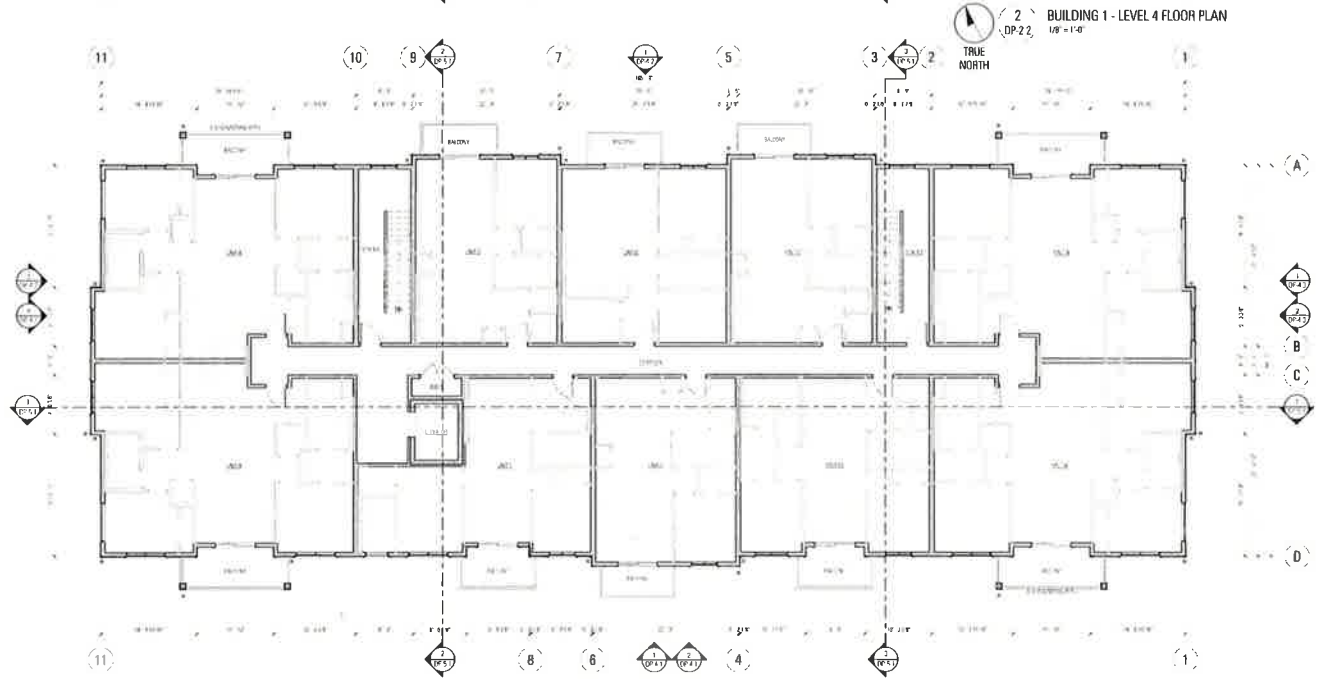
**TOWN OF HIGH RIVER
TENTATIVE APPROVAL ONLY
CONDITIONS: SEE SCHEDULE A**

S. Peak

VALID 2025.03.21 EXPIRES 2025.04.11



2 BUILDING 1 - LEVEL 4 FLOOR PLAN
DP-22 1/8" = 1'-0"



1 BUILDING 1 - LEVEL 3 FLOOR PLAN
DP-22 1/8" = 1'-0"

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ARCHITECT'S SEAL
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NOTES

ISSUED FOR / REVISIONS	DATE
1. Issued for permit	2024.03.21
2. Issued for permit	2024.03.21
3. Issued for permit	2024.03.21
4. Issued for permit	2024.03.21
5. Issued for permit	2024.03.21
6. Issued for permit	2024.03.21
7. Issued for permit	2024.03.21
8. Issued for permit	2024.03.21
9. Issued for permit	2024.03.21
10. Issued for permit	2024.03.21
11. Issued for permit	2024.03.21

Project Name	Highwood Village North Apartments
Project Address	10000 10th Street, High River, AB T1S 2E6
Project Number	DP-22
Project Date	2024.03.21
Project Status	Issued for permit
Project Type	Residential
Project Location	Highwood Village North Apartments
Project Owner	Systemic Architecture Inc.
Project Manager	Systemic Architecture Inc.
Project Designer	Systemic Architecture Inc.
Project Engineer	Systemic Architecture Inc.
Project Architect	Systemic Architecture Inc.
Project Consultant	Systemic Architecture Inc.
Project Specialist	Systemic Architecture Inc.
Project Coordinator	Systemic Architecture Inc.
Project Assistant	Systemic Architecture Inc.
Project Secretary	Systemic Architecture Inc.
Project Receptionist	Systemic Architecture Inc.
Project Cleaner	Systemic Architecture Inc.
Project Janitor	Systemic Architecture Inc.
Project Security Guard	Systemic Architecture Inc.
Project Maintenance	Systemic Architecture Inc.
Project Landscaping	Systemic Architecture Inc.
Project Snow Removal	Systemic Architecture Inc.
Project Pest Control	Systemic Architecture Inc.
Project Fire Alarm	Systemic Architecture Inc.
Project Fire Sprinkler	Systemic Architecture Inc.
Project Fire Extinguisher	Systemic Architecture Inc.
Project Fire Escape	Systemic Architecture Inc.
Project Fire Exit	Systemic Architecture Inc.
Project Fire Alarm Test	Systemic Architecture Inc.
Project Fire Sprinkler Test	Systemic Architecture Inc.
Project Fire Extinguisher Test	Systemic Architecture Inc.
Project Fire Escape Test	Systemic Architecture Inc.
Project Fire Exit Test	Systemic Architecture Inc.
Project Fire Alarm Test	Systemic Architecture Inc.
Project Fire Sprinkler Test	Systemic Architecture Inc.
Project Fire Extinguisher Test	Systemic Architecture Inc.
Project Fire Escape Test	Systemic Architecture Inc.
Project Fire Exit Test	Systemic Architecture Inc.

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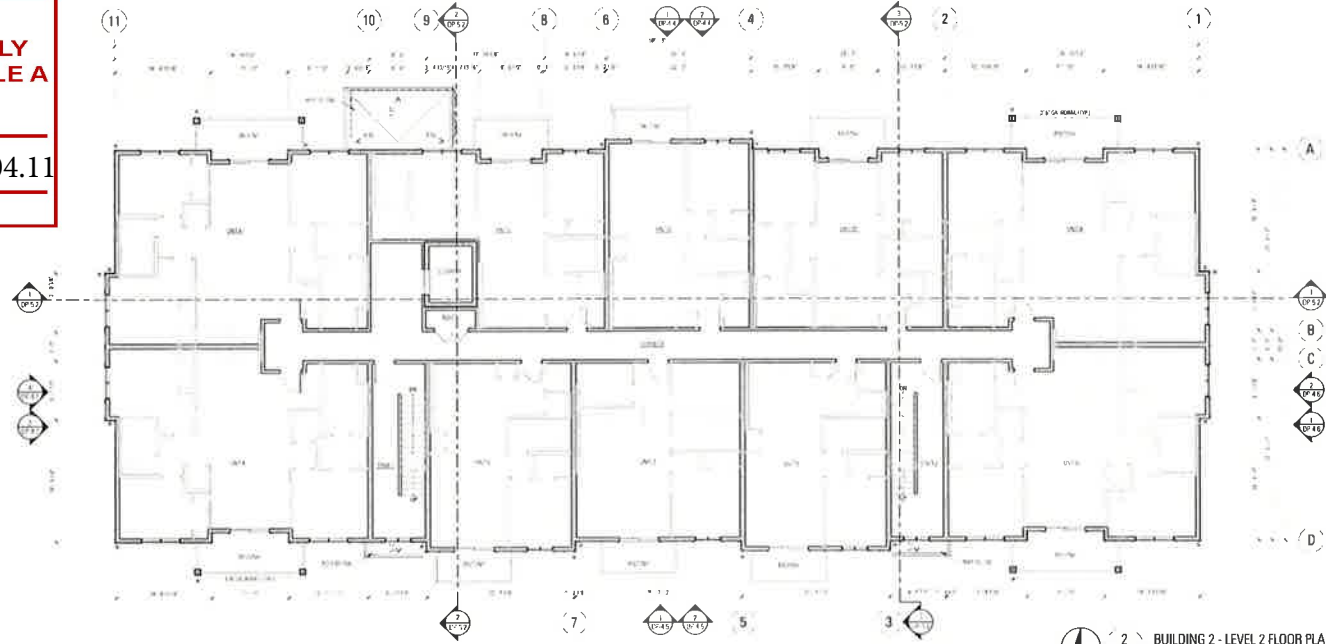
Project Name: **Highwood Village North Apartments**
Project Number: **DP-22**
Project Date: **2024.03.21**
Project Status: **Issued for permit**
Project Type: **Residential**
Project Location: **Highwood Village North Apartments**
Project Owner: **Systemic Architecture Inc.**
Project Manager: **Systemic Architecture Inc.**
Project Designer: **Systemic Architecture Inc.**
Project Engineer: **Systemic Architecture Inc.**
Project Architect: **Systemic Architecture Inc.**
Project Consultant: **Systemic Architecture Inc.**
Project Specialist: **Systemic Architecture Inc.**
Project Coordinator: **Systemic Architecture Inc.**
Project Assistant: **Systemic Architecture Inc.**
Project Secretary: **Systemic Architecture Inc.**
Project Receptionist: **Systemic Architecture Inc.**
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Project Fire Alarm Test: **Systemic Architecture Inc.**
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DP-22 1

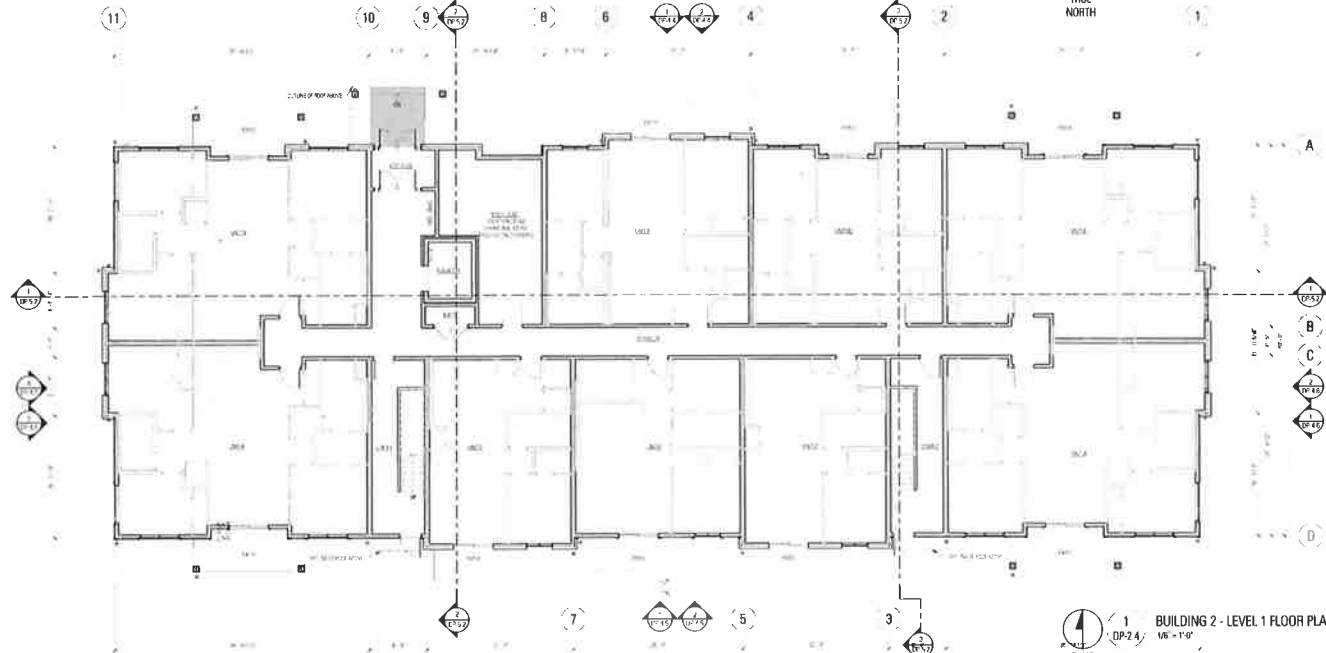
**TOWN OF HIGH RIVER
TENTATIVE APPROVAL ONLY
CONDITIONS: SEE SCHEDULE A**

S. Peak

VALID 2025.03.21 EXPIRES 2025.04.11



2 BUILDING 2 - LEVEL 2 FLOOR PLAN
DP-2.4
1/8" = 1'-0"



1 BUILDING 2 - LEVEL 1 FLOOR PLAN
DP-2.4
1/8" = 1'-0"

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NOTES

ISSUED FOR REVISIONS	
1	Issue for Review
2	Issue for Review
3	Issue for Review
4	Issue for Review
5	Issue for Review
6	Issue for Review
7	Issue for Review
8	Issue for Review
9	Issue for Review
10	Issue for Review
11	Issue for Review

HIGHWOOD VILLAGE NORTH APARTMENTS	
Project Name	Highwood Village North Apartments
Project Number	DP-2.4
Site Name	Highwood Village North
Site Location	Highwood Village North
Developer/Client	Systemic Architecture Inc.
Architect	Systemic Architecture Inc.
Project Manager	Systemic Architecture Inc.
Project Engineer	Systemic Architecture Inc.
Project Designer	Systemic Architecture Inc.
Project Checker	Systemic Architecture Inc.
Project Approver	Systemic Architecture Inc.
Project Date	2025-03-21
Project Status	Issue for Review

SYSTEMIC Architecture Inc.
101-102 Columbia Street
Highwood Village North
Highwood Village North
Highwood Village North

Building Number
DP-2.4 2

**TOWN OF HIGH RIVER
TENTATIVE APPROVAL ONLY
CONDITIONS: SEE SCHEDULE A**

S. Peak

2025.03.21 2025.04.11

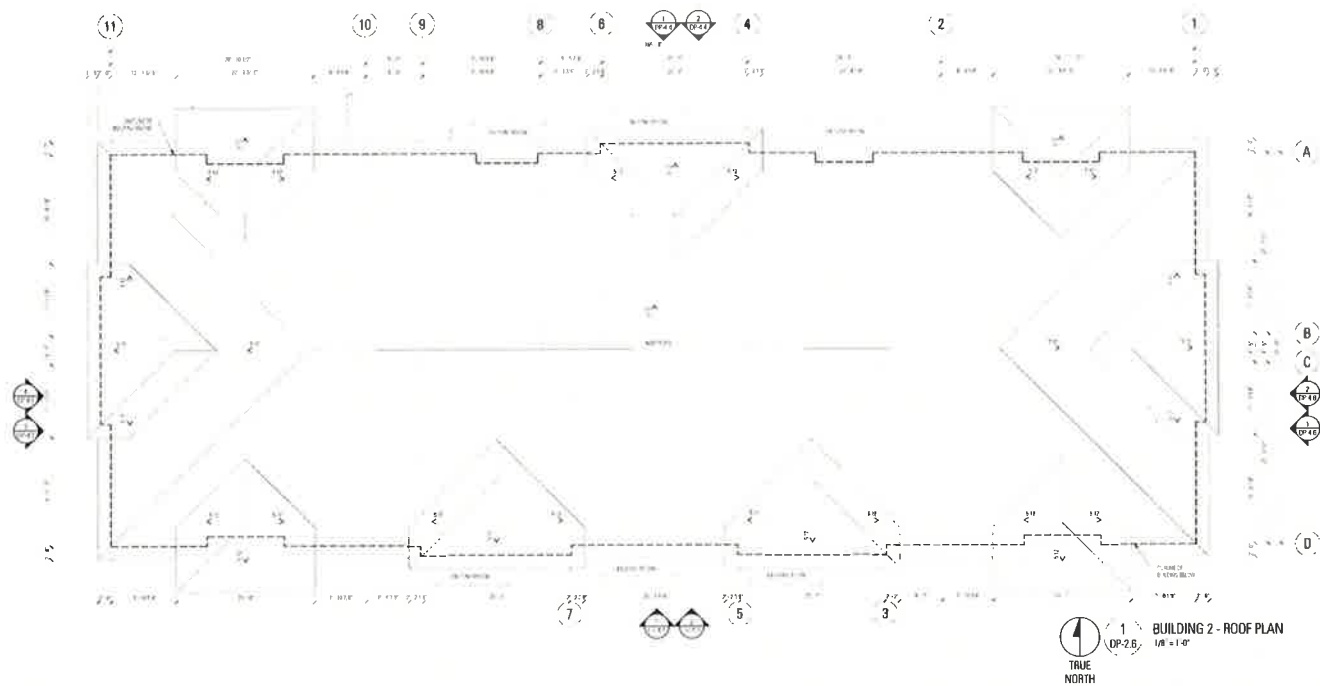
VALID _____ EXPIRES _____

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 2. The architect is not responsible for the accuracy of the information provided to the architect.
 3. The architect is not responsible for the accuracy of the information provided to the architect.
 4. The architect is not responsible for the accuracy of the information provided to the architect.
 5. The architect is not responsible for the accuracy of the information provided to the architect.

ARCHITECT'S SEAL

**PRELIMINARY
NOT FOR CONSTRUCTION**

NOTES



NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	03/21/25
2	ISSUED FOR PERMITS	03/21/25
3	ISSUED FOR PERMITS	03/21/25
4	ISSUED FOR PERMITS	03/21/25
5	ISSUED FOR PERMITS	03/21/25

ISSUED FOR / REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	03/21/25
2	ISSUED FOR PERMITS	03/21/25
3	ISSUED FOR PERMITS	03/21/25
4	ISSUED FOR PERMITS	03/21/25
5	ISSUED FOR PERMITS	03/21/25

**HIGHWOOD VILLAGE
NORTH APARTMENTS**

**BUILDING 2 - ROOF
PLAN**

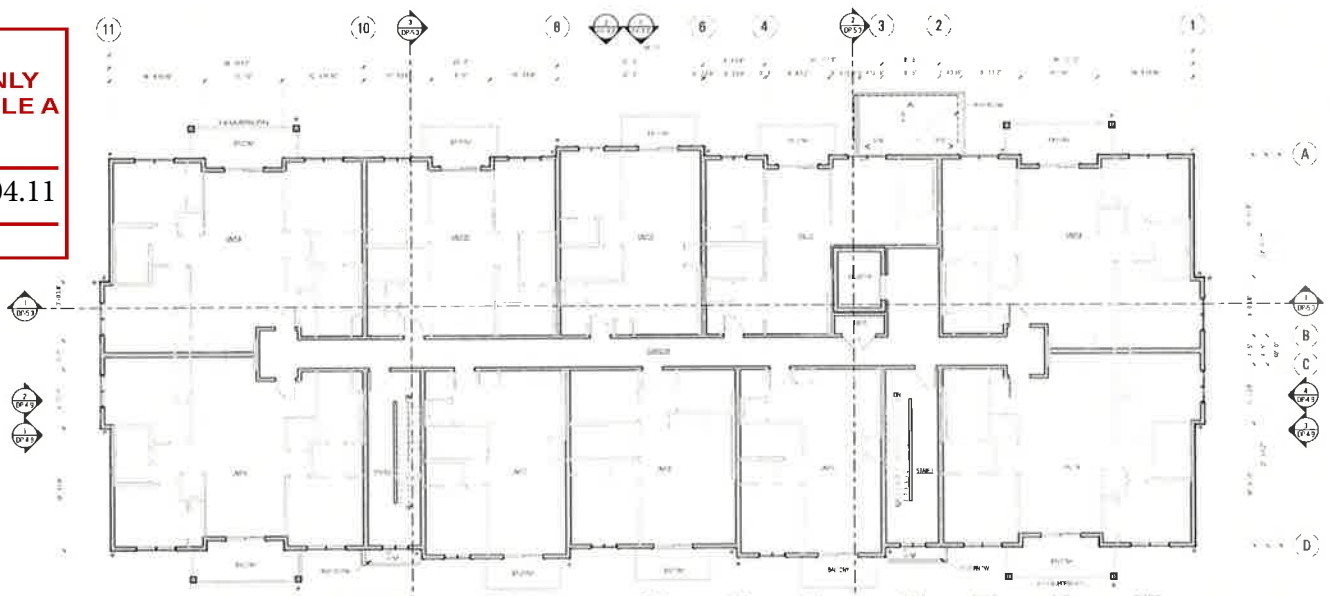
SYSTEMIC Architectural, Inc.
 2021 1402 Hennepin Road, Suite 100
 Minneapolis, MN 55412
 (612) 338-1000

Sheet	Building Number
DP-2.6	2

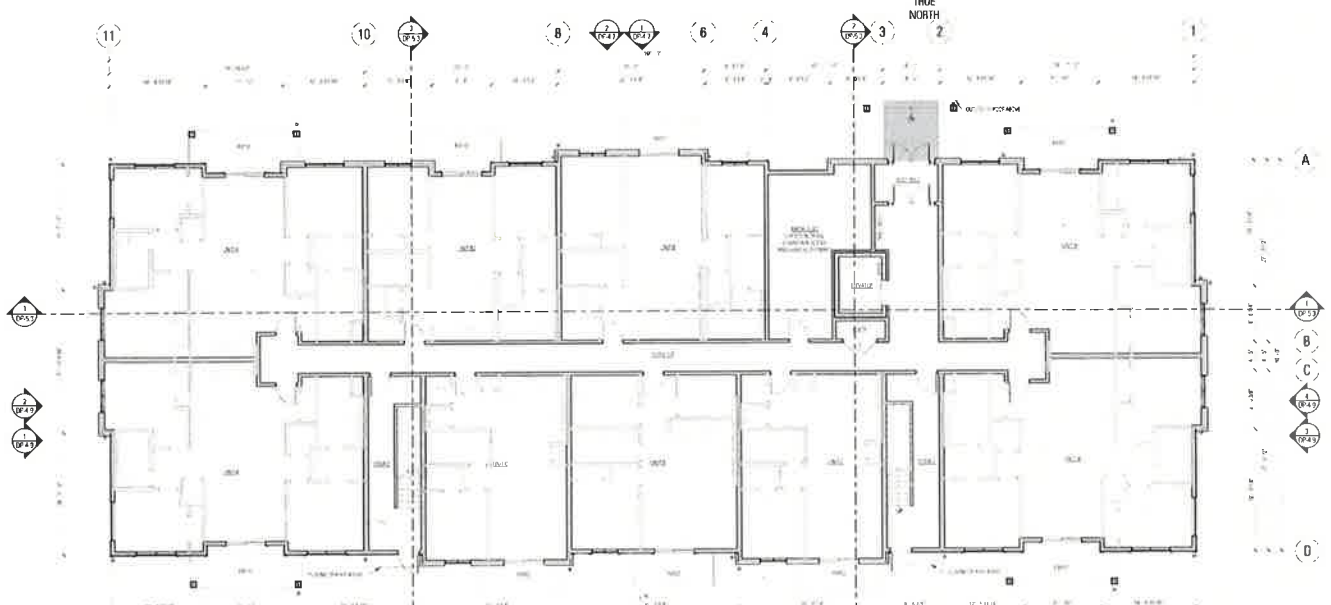
**TOWN OF HIGH RIVER
TENTATIVE APPROVAL ONLY
CONDITIONS: SEE SCHEDULE A**

S. Peak

2025.03.21 2025.04.11
VALID EXPIRES



BUILDING 3 - LEVEL 2 FLOOR PLAN
1/8" = 1'-0"



BUILDING 3 - LEVEL 1 FLOOR PLAN
1/8" = 1'-0"

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NOTES

ISSUED FOR / REVISIONS

Revision	Description	Date
1	Issued for construction	2025.03.21
2	Issued for construction	2025.03.21
3	Issued for construction	2025.03.21
4	Issued for construction	2025.03.21
5	Issued for construction	2025.03.21
6	Issued for construction	2025.03.21
7	Issued for construction	2025.03.21
8	Issued for construction	2025.03.21
9	Issued for construction	2025.03.21
10	Issued for construction	2025.03.21
11	Issued for construction	2025.03.21

SYSTEMIC Architecture Inc.
102 - 1410 Kensington Road W.
Calgary, Alberta, Canada T2K 3P6
403.775.8001

Project Name: **HIGHWOOD VILLAGE NORTH APARTMENTS**

Project Location: **BUILDING 3 - FLOOR PLANS**

Sheet: **DP-2.7** of **3**

**TOWN OF HIGH RIVER
TENTATIVE APPROVAL ONLY
CONDITIONS: SEE SCHEDULE A**

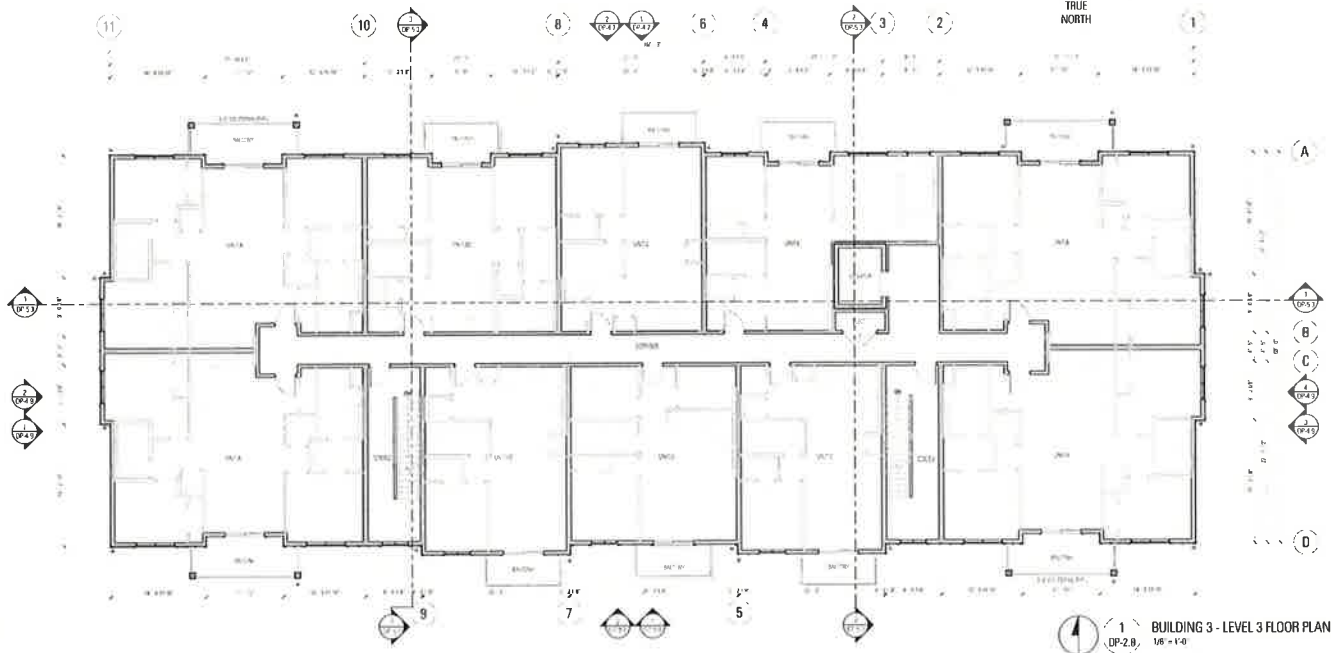
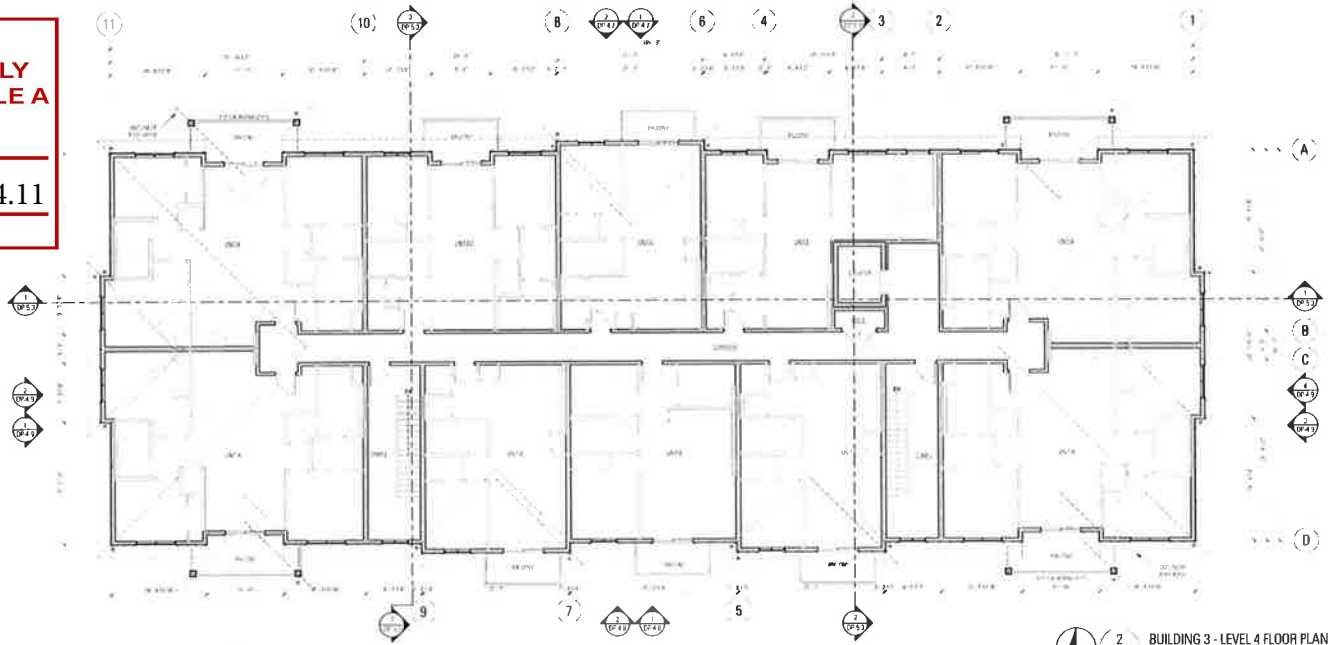
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VALID 2025.03.21 EXPIRES 2025.04.11

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NOTES



ISSUED FOR / REVISIONS

Revised	By	Reason

ISSUED FOR / REVISIONS

Project Name	Highwood Village North Apartments
Project No.	2024-001
Client	Highwood Village North Apartments
Site Location	Highwood Village North Apartments
Site Area	100,000 sq. ft.
Project Status	Pre-Design

**HIGHWOOD VILLAGE
NORTH APARTMENTS**

**BUILDING 3 - FLOOR
PLANS**

SYSTEMIC Architecture Inc.
 100-1000 River Road
 Calgary, Alberta T2C 0P9
 Tel: 403.243.1111

Sheet	Sheet Number
DP-2.8	3

**TOWN OF HIGH RIVER
TENTATIVE APPROVAL ONLY
CONDITIONS: SEE SCHEDULE A**

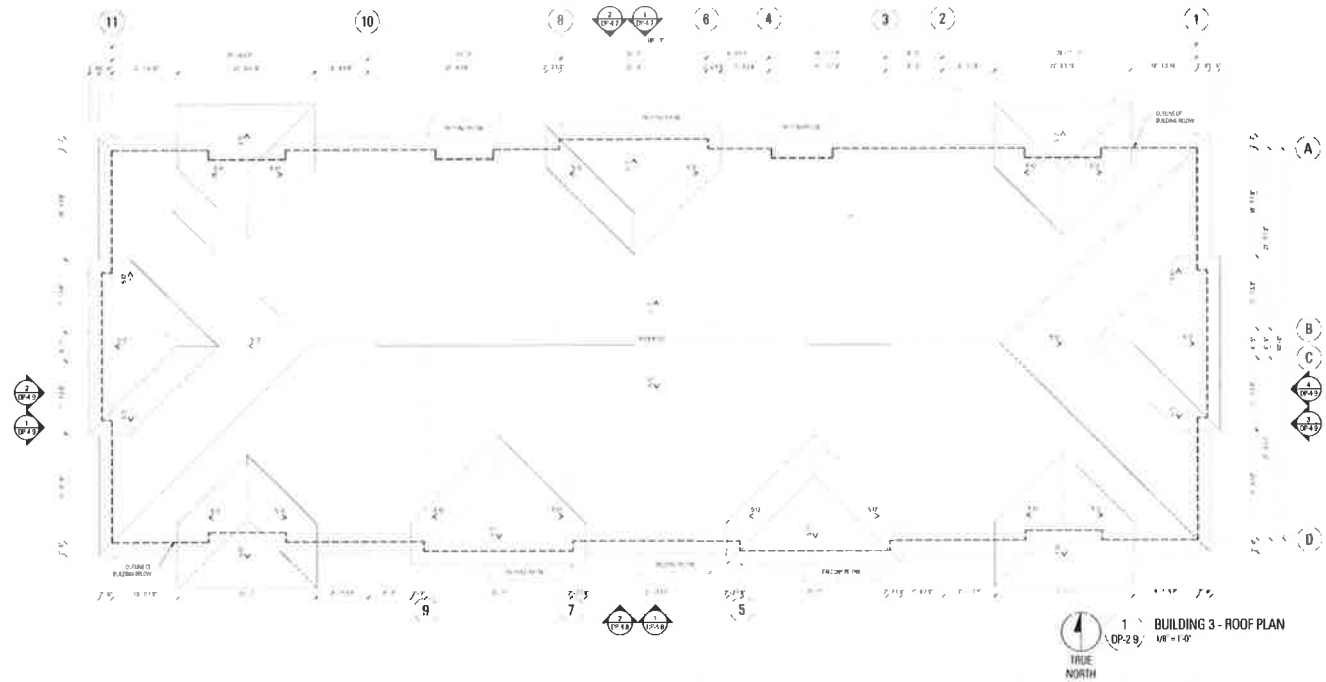
S. Peak

VALID 2025.03.21 EXPIRES 2025.04.11

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 5. The Architect is not responsible for the accuracy of the information provided by the client.

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**PRELIMINARY
NOT FOR CONSTRUCTION**

NOTES



1 BUILDING 3 - ROOF PLAN
 DP-29
 VE - 1-10
 TRUE NORTH

ISSUED FOR REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	03/21/25
2	ISSUED FOR PERMITS	03/21/25
3	ISSUED FOR PERMITS	03/21/25
4	ISSUED FOR PERMITS	03/21/25

PROJECT INFORMATION	
Project Name	HIGHWOOD VILLAGE NORTH APARTMENTS
Project No.	DP-29
Client	...
Project Address	...
Project Location	...
Project Description	...
Project Status	...
Project Phase	...
Project Discipline	...
Project Date	...

SYSTEMIC ARCHITECTURE INC.
 100-1422 Arroyo Road, Suite 100
 San Jose, CA 95128
 408.933.8001

Project: Building 3 - Roof Plan
DP-29 3

**TOWN OF HIGH RIVER
TENTATIVE APPROVAL ONLY
CONDITIONS: SEE SCHEDULE A**

S. Peak

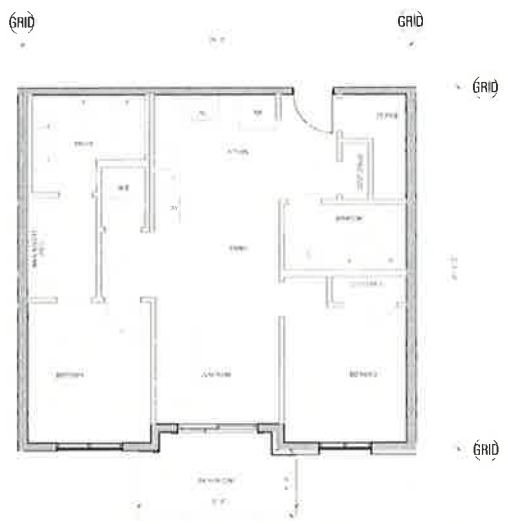
2025.03.21 VALID 2025.04.11 EXPIRES



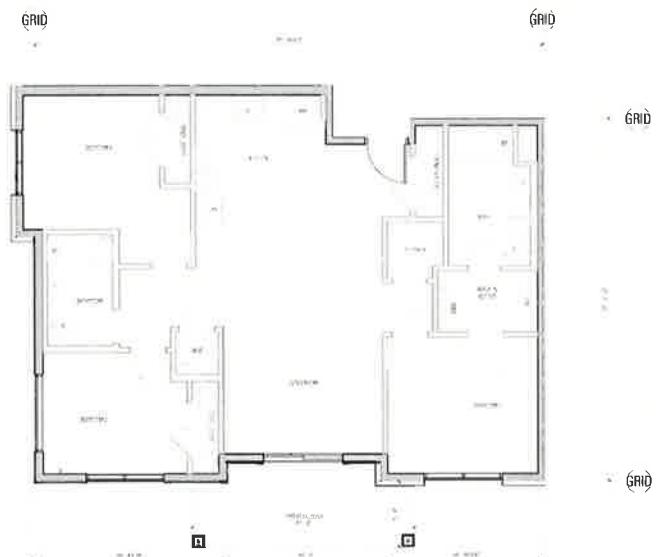
**4 UNIT PLAN C
DP-2.10 1A-1.0**



**2 UNIT PLAN B
DP-2.10 1A-1.0**



**3 UNIT PLAN B2
DP-2.10 1A-1.0**



**1 UNIT PLAN A
DP-2.10 1A-1.0**

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ARCHITECT'S SEAL

**PRELIMINARY
NOT FOR CONSTRUCTION**

UNIT PLAN NOTES
AS PER 1545-101.0

- ABBREVIATION LEGEND**
- 01 WALL
 - 02 FLOOR FINISH
 - 03 CEILING FINISH
 - 04 ROOF FINISH
 - 05 EXTERIOR FINISH
 - 06 INTERIOR FINISH
 - 07 MECHANICAL
 - 08 ELECTRICAL
 - 09 PLUMBING
 - 10 HVAC
 - 11 FLOOR FINISH
 - 12 CEILING FINISH
 - 13 ROOF FINISH
 - 14 EXTERIOR FINISH
 - 15 INTERIOR FINISH
 - 16 MECHANICAL
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 - 97 MECHANICAL
 - 98 ELECTRICAL
 - 99 PLUMBING
 - 100 HVAC

ISSUED FOR REVISIONS

Rev	Description	Date
1	Issue for construction	02/27/25
2	Issue for construction	02/27/25
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100	Issue for construction	02/27/25

**Highwood Village
North Apartments
Unit Plans**

SYSTEMIC Architecture Inc.
100 - 1400 Kensington Road
Sunnyvale, Ontario L0A 1H0
(905) 881-1111

DP-2.10

**TOWN OF HIGH RIVER
TENTATIVE APPROVAL ONLY
CONDITIONS: SEE SCHEDULE A**

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2025.03.21 2025.04.11
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UNIT PLAN NOTES

- ABBREVIATION LEGEND**
- 01 CONCRETE
 - 02 1/2" POLYSTYRENE INSULATION
 - 03 1/2" POLYSTYRENE INSULATION
 - 04 1/2" POLYSTYRENE INSULATION
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 - 100 1/2" POLYSTYRENE INSULATION



3 \ UNIT PLAN E
DP-2.11 1/4" = 1'-0"



2 \ UNIT PLAN D
DP-2.11 1/4" = 1'-0"

ISSUED FOR REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	03/21/25
2	ISSUED FOR PERMITS	03/21/25

ISSUED FOR REVISIONS

Author	Project Lead	Drawn By	Scale
Checked	Reviewed	Approved	Issue Date
Issue Date	Issue Time	Issue Location	Issue Description
Project Name	Project Number	Project Address	Project City
Project State	Project Zip	Project Country	Project Continent

**HIGHWOOD VILLAGE
NORTH APARTMENTS**

UNIT PLANS

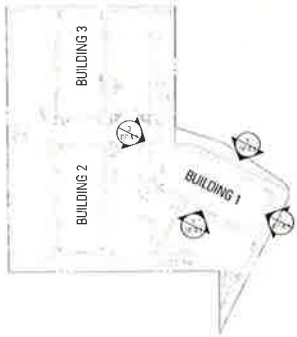
SYSTEMATIC

DP-2.11

**TOWN OF HIGH RIVER
TENTATIVE APPROVAL ONLY
CONDITIONS: SEE SCHEDULE A**

S. Park

VALID 2025.03.21 EXPIRES 2025.04.11



3 ELEVATION KEY PLAN
DP 4.1 1/1000
TRUE NORTH



2 BUILDING 1 - EXTERIOR ELEVATION SOUTHWEST (COLOUR)
DP 4.1 1/8" = 1'0"



1 BUILDING 1 - EXTERIOR ELEVATION SOUTHWEST (LINEWORK)
DP 4.1 1/8" = 1'0"

DISCLAIMER
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ARCHITECT'S SEAL
**PRELIMINARY
NOT FOR CONSTRUCTION**

NOTES
ELEVATION KEYNOTES

- 1. GENERAL NOTES
- 2. ELEVATION KEYNOTES
- 3. ELEVATION KEY PLAN
- 4. ELEVATION KEY PLAN
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- 20. ELEVATION KEY PLAN

SHEET MUST BE PRINTED IN COLOUR

ISSUED FOR REVISIONS

NO.	REVISION	DATE
1	ISSUED FOR REVISIONS	2024.03.21
2	ISSUED FOR REVISIONS	2024.03.21
3	ISSUED FOR REVISIONS	2024.03.21

**HIGHWOOD VILLAGE
NORTH APARTMENTS**

**BUILDING 1 - EXTERIOR
ELEVATIONS**

SYSTEMIC Architecture Inc.
102-1122 29th Street NW
Calgary, Alberta Canada T2C 3P5
403.243.1111

Drawing: **DP-4.1** Building Number: **1**

**TOWN OF HIGH RIVER
TENTATIVE APPROVAL ONLY
CONDITIONS: SEE SCHEDULE A**

S. Mack

VALID 2025.03.21 EXPIRES 2025.04.11

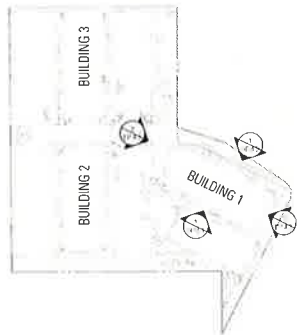
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ARCHITECTS SEAL

**PRELIMINARY
NOT FOR CONSTRUCTION**

NOTES

- ELEVATION KEYNOTES**
1. SEE SCHEDULE A FOR ELEVATION KEY PLAN
 2. SEE SCHEDULE A FOR ELEVATION KEY PLAN
 3. SEE SCHEDULE A FOR ELEVATION KEY PLAN
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 11. SEE SCHEDULE A FOR ELEVATION KEY PLAN



2 BUILDING 1 - EXTERIOR ELEVATION NORTHEAST (COLOUR)
 DP-4.2 1/8" = 1'-0"

3 ELEVATION KEY PLAN
 DP-4.2 1:1000
 TRUE NORTH



1 BUILDING 1 - EXTERIOR ELEVATION NORTHEAST (LINEWORK)
 DP-4.2 1/8" = 1'-0"

SHEET MUST BE PRINTED IN COLOUR

ISSUED FOR REVISIONS

Revision	By	Date
1	AS	2024-03-21
2	AS	2024-03-21
3	AS	2024-03-21
4	AS	2024-03-21
5	AS	2024-03-21
6	AS	2024-03-21
7	AS	2024-03-21
8	AS	2024-03-21
9	AS	2024-03-21
10	AS	2024-03-21
11	AS	2024-03-21

**HIGHWOOD VILLAGE
NORTH APARTMENTS**

**BUILDING 1 - EXTERIOR
ELEVATIONS**

SYSTEMIC Architecture Inc.

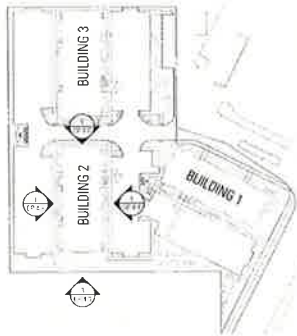
102 - 1127 Avenue Rd.
 Calgary, Alberta T2C 1P5
 403-275-9881

DP-4.2 1

**TOWN OF HIGH RIVER
TENTATIVE APPROVAL ONLY
CONDITIONS: SEE SCHEDULE A**

S. Hoek

VALID 2025.03.21 EXPIRES 2025.04.11



3 ELEVATION KEY PLAN
DP-4.5 | 1:100
TRUE NORTH



2 BUILDING 2 - EXTERIOR ELEVATION WEST (COLOUR)
DP-4.5 | 1/8" = 1' 0"



1 BUILDING 2 - EXTERIOR ELEVATION WEST (LINEWORK)
DP-4.5 | 1/8" = 1' 0"

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- The Architect is not responsible for any other work done in accordance with this drawing or any other drawings, specifications, or reports prepared by the Architect or any other person.

ARCHITECT'S SEAL
**PRELIMINARY
NOT FOR CONSTRUCTION**

- NOTES**
- ELEVATION KEYNOTES**
1. GENERAL NOTES
 2. ELEVATION KEYNOTES
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 100. ELEVATION KEYNOTES

SHEET MUST BE PRINTED IN COLOUR

ISSUED FOR / REVISIONS

Number	Description	Date
1	Issue for approval	2024-03-21
2	Issue for approval	2024-03-21
3	Issue for approval	2024-03-21
4	Issue for approval	2024-03-21
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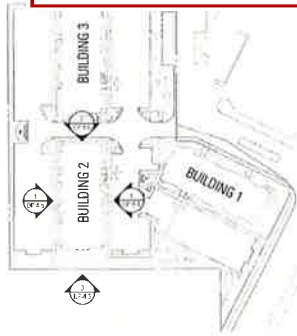
SYSTEMIC Architecture Inc.
101-102 Avenue Road
Calgary, Alberta T2C 1P9
403-275-1001

Sheet: Building Number
DP-4.5 2

**TOWN OF HIGH RIVER
TENTATIVE APPROVAL ONLY
CONDITIONS: SEE SCHEDULE A**

S. Mack

VALID 2025.03.21 EXPIRES 2025.04.11



4 BUILDING 2 - EXTERIOR ELEVATION SOUTH (COLOUR)
DP-4.6 1/8" = 1'-0"

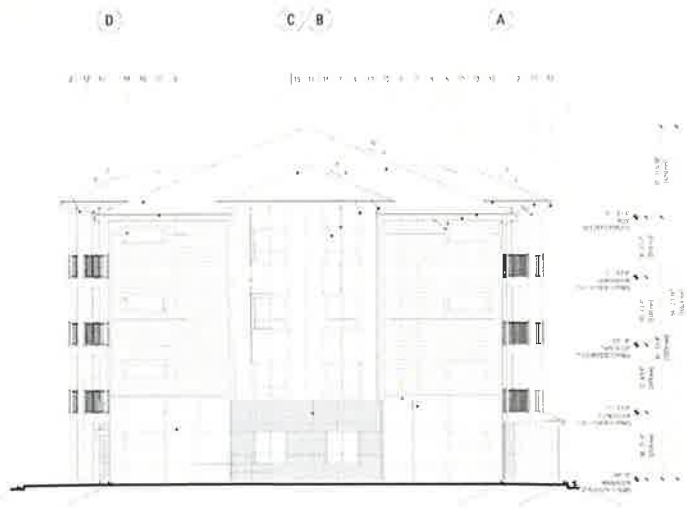


2 BUILDING 2 - EXTERIOR ELEVATIONS NORTH (COLOUR)
DP-4.6 1/8" = 1'-0"

5 ELEVATION KEY PLAN
DP-4.6 1:1000
TRUE NORTH



3 BUILDING 2 - EXTERIOR ELEVATION SOUTH (LINEWORK)
DP-4.6 1/8" = 1'-0"



1 BUILDING 2 - EXTERIOR ELEVATIONS NORTH (LINEWORK)
DP-4.6 1/8" = 1'-0"

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ARCHITECT'S SEAL
**PRELIMINARY
NOT FOR CONSTRUCTION**

NOTES
ELEVATION KEYNOTES

- 1. GENERAL NOTES
- 2. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS AND FINISHES.
- 3. REFER TO MECHANICAL DRAWINGS FOR ALL MECHANICAL FINISHES.
- 4. REFER TO ELECTRICAL DRAWINGS FOR ALL ELECTRICAL FINISHES.
- 5. REFER TO PLUMBING DRAWINGS FOR ALL PLUMBING FINISHES.
- 6. REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL FINISHES.
- 7. REFER TO FINISH SCHEDULE FOR ALL FINISHES.
- 8. REFER TO MATERIAL SCHEDULE FOR ALL MATERIALS.
- 9. REFER TO COLOR SCHEDULE FOR ALL COLORS.
- 10. REFER TO ELEVATION KEY PLAN FOR ALL ELEVATION KEYNOTES.
- 11. REFER TO SECTION CUTS FOR ALL SECTION CUTS.
- 12. REFER TO FOUNDATION DRAWINGS FOR ALL FOUNDATION FINISHES.
- 13. REFER TO ROOF DRAWINGS FOR ALL ROOF FINISHES.
- 14. REFER TO EXTERIOR WALL DRAWINGS FOR ALL EXTERIOR WALL FINISHES.
- 15. REFER TO EXTERIOR FLOOR DRAWINGS FOR ALL EXTERIOR FLOOR FINISHES.
- 16. REFER TO EXTERIOR CEILING DRAWINGS FOR ALL EXTERIOR CEILING FINISHES.
- 17. REFER TO EXTERIOR DOOR AND WINDOW DRAWINGS FOR ALL EXTERIOR DOOR AND WINDOW FINISHES.
- 18. REFER TO EXTERIOR BALCONY DRAWINGS FOR ALL EXTERIOR BALCONY FINISHES.
- 19. REFER TO EXTERIOR STAIR DRAWINGS FOR ALL EXTERIOR STAIR FINISHES.
- 20. REFER TO EXTERIOR SIGNAGE DRAWINGS FOR ALL EXTERIOR SIGNAGE FINISHES.

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	2024.03.15
2	ISSUED FOR APPROVAL	2024.03.15
3	ISSUED FOR CONSTRUCTION	2024.03.15

ISSUED FOR REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	2024.03.15
2	ISSUED FOR APPROVAL	2024.03.15
3	ISSUED FOR CONSTRUCTION	2024.03.15

**HIGHWOOD VILLAGE
NORTH APARTMENTS**

**BUILDING 2 - EXTERIOR
ELEVATIONS**

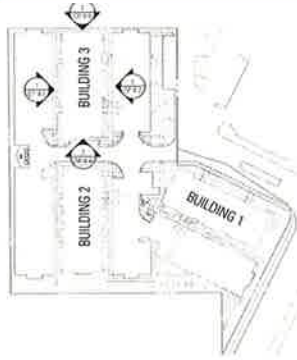
SYSTEMIC Architecture Inc.
100-442 Haverhill Road, St.
John's, Canada NL A1B 1X9

DP-4.6 2

**TOWN OF HIGH RIVER
TENTATIVE APPROVAL ONLY
CONDITIONS: SEE SCHEDULE A**

S. Peak

VALID 2025.03.21 EXPIRES 2025.04.11



2 BUILDING 3 - EXTERIOR ELEVATION WEST (COLOUR)
DP-4 B 1/8" = 1'0"

3 ELEVATION KEY PLAN
DP-4 B 1/1000
TRUE NORTH



1 BUILDING 3 - EXTERIOR ELEVATION WEST (LINEWORK)
DP-4 B 1/8" = 1'0"

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ARCHITECT'S SEAL

**PRELIMINARY
NOT FOR CONSTRUCTION**

- NOTES**
- ELEVATION KEYNOTES**
1. GENERAL NOTES
 2. SEE SITE PLAN FOR BUILDING FOOTPRINTS AND ELEVATION KEYNOTES.
 3. SEE SCHEDULE A FOR TENTATIVE APPROVAL CONDITIONS.
 4. SEE SCHEDULE B FOR TENTATIVE APPROVAL CONDITIONS.
 5. SEE SCHEDULE C FOR TENTATIVE APPROVAL CONDITIONS.
 6. SEE SCHEDULE D FOR TENTATIVE APPROVAL CONDITIONS.
 7. SEE SCHEDULE E FOR TENTATIVE APPROVAL CONDITIONS.
 8. SEE SCHEDULE F FOR TENTATIVE APPROVAL CONDITIONS.
 9. SEE SCHEDULE G FOR TENTATIVE APPROVAL CONDITIONS.
 10. SEE SCHEDULE H FOR TENTATIVE APPROVAL CONDITIONS.
 11. SEE SCHEDULE I FOR TENTATIVE APPROVAL CONDITIONS.
 12. SEE SCHEDULE J FOR TENTATIVE APPROVAL CONDITIONS.
 13. SEE SCHEDULE K FOR TENTATIVE APPROVAL CONDITIONS.
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 16. SEE SCHEDULE N FOR TENTATIVE APPROVAL CONDITIONS.
 17. SEE SCHEDULE O FOR TENTATIVE APPROVAL CONDITIONS.
 18. SEE SCHEDULE P FOR TENTATIVE APPROVAL CONDITIONS.
 19. SEE SCHEDULE Q FOR TENTATIVE APPROVAL CONDITIONS.
 20. SEE SCHEDULE R FOR TENTATIVE APPROVAL CONDITIONS.

SHEET MUST BE PRINTED IN COLOUR

ISSUED FOR REVISIONS

Revision	Description	Date
1	Initial Issue	2024.02.28
2	Revised Elevation	2024.03.15
3	Final Issue	2024.03.21

**HIGHWOOD VILLAGE
NORTH APARTMENTS**

**BUILDING 3 - EXTERIOR
ELEVATIONS**

SYSTEMIC ARCHITECTURE INC.

101-1025 Ave. Road #10
Calgary, Alberta T2C 1P9
403-243-9661

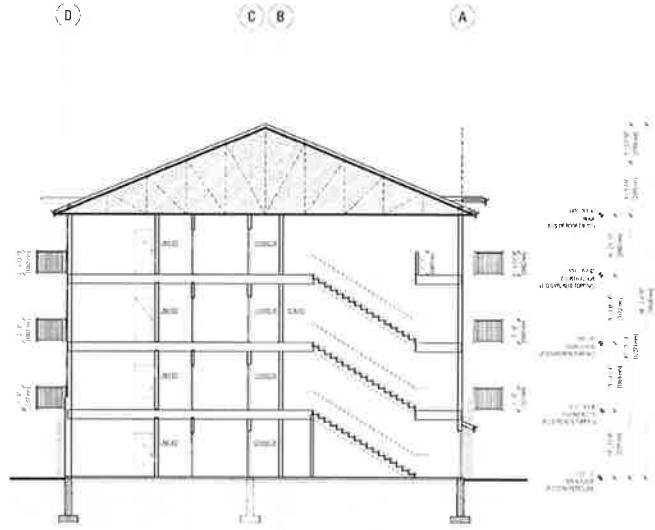
Project: Building Number
DP-4.8 3

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 - The drawings, designs, and information herein are provided for informational purposes only and do not constitute a contract.

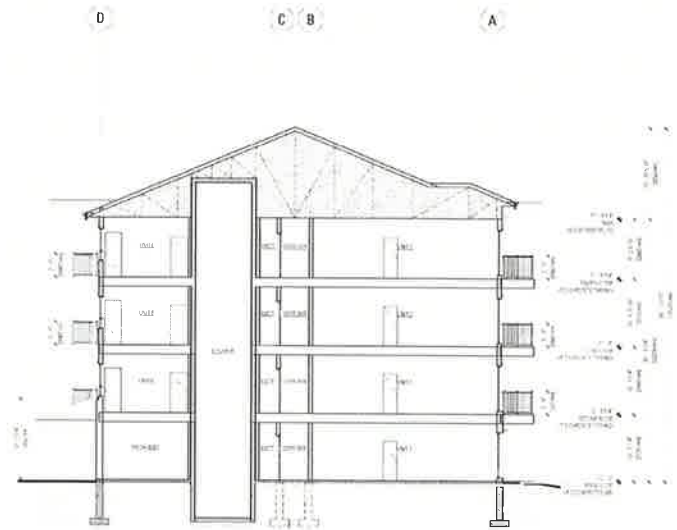
ARCHITECT'S SEAL

**PRELIMINARY
 NOT FOR CONSTRUCTION**

NOTES



3 BUILDING 1 - BUILDING SECTION
 DP 5.1 1/8" = 1'-0"

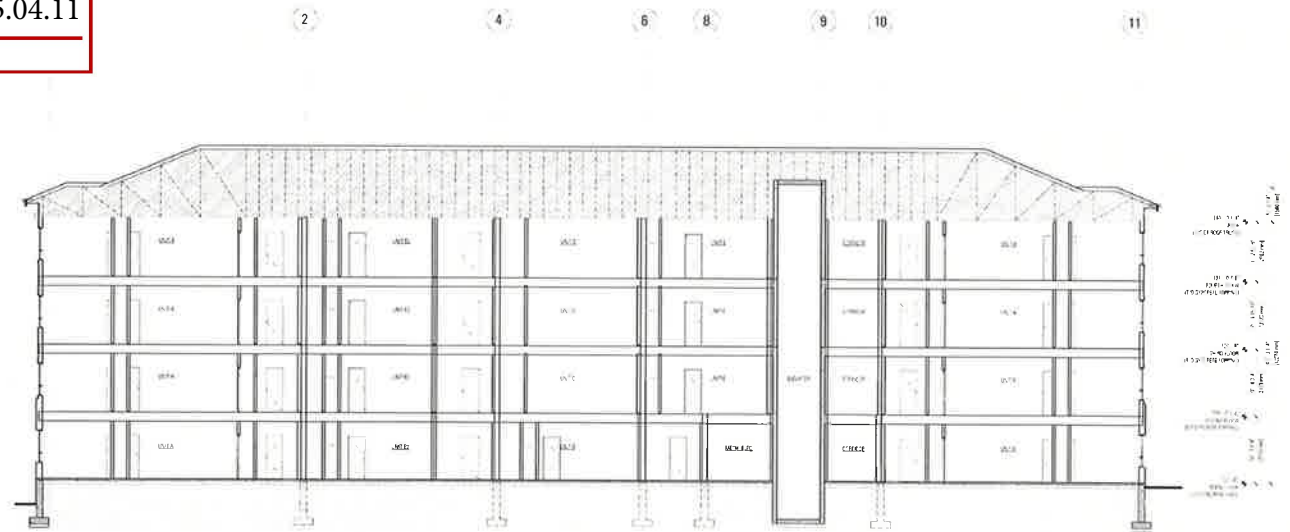


2 BUILDING 1 - BUILDING SECTION
 DP 5.1 1/8" = 1'-0"

**TOWN OF HIGH RIVER
 TENTATIVE APPROVAL ONLY
 CONDITIONS: SEE SCHEDULE A**

S. Peck

2025.03.21 2025.04.11
 VALID EXPIRES



1 BUILDING 1 - BUILDING SECTION
 DP 5.1 1/8" = 1'-0"

1. Date Issued/Revised for Issuance	2025.03.21
2. Issued/Revised by	DP 5.1
3. Issued/Revised for	DP 5.1
4. Issued/Revised by	DP 5.1
5. Issued/Revised for	DP 5.1

ISSUED FOR / REVISIONS	
Issue	1/1/2025
Project Name	Highwood Village North Apartments
Project Number	2025-01
Site Name	Highwood Village North
Site Address	100 - 1000 Kingsway Road, Highwood Village North, AB T2H 1K9
Client Name	Systemic Architecture Inc.
Client Address	100 - 1000 Kingsway Road, Highwood Village North, AB T2H 1K9
Client Phone	403-243-8888
Client Email	info@systemic.ca

**HIGHWOOD VILLAGE
 NORTH APARTMENTS**

**BUILDING 1 - BUILDING
 SECTIONS**

SYSTEMIC

100 - 1000 Kingsway Road
 Highwood Village North, AB T2H 1K9
 403-243-8888

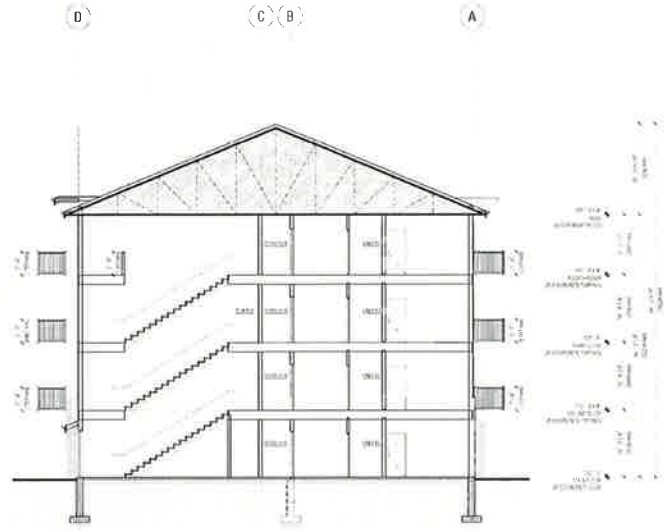
Sheet: Building Number
DP-5.1 1

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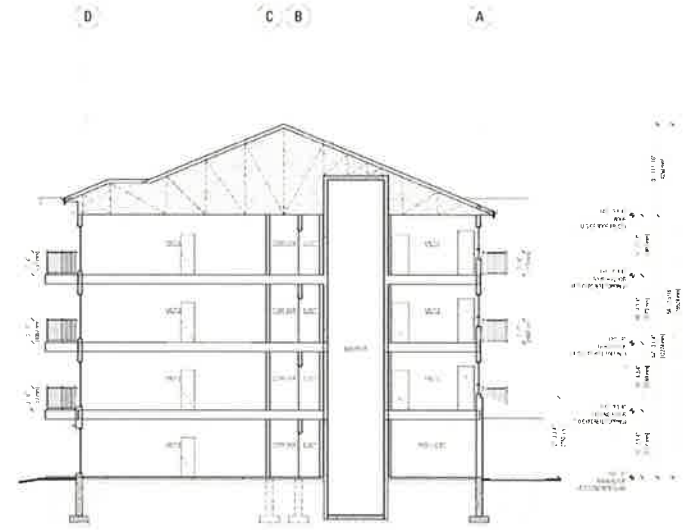
ARCHITECT'S SEAL

**PRELIMINARY
 NOT FOR CONSTRUCTION**

NOTES



3 BUILDING 2 - BUILDING SECTION
 DP-52 1/8" = 1'-0"

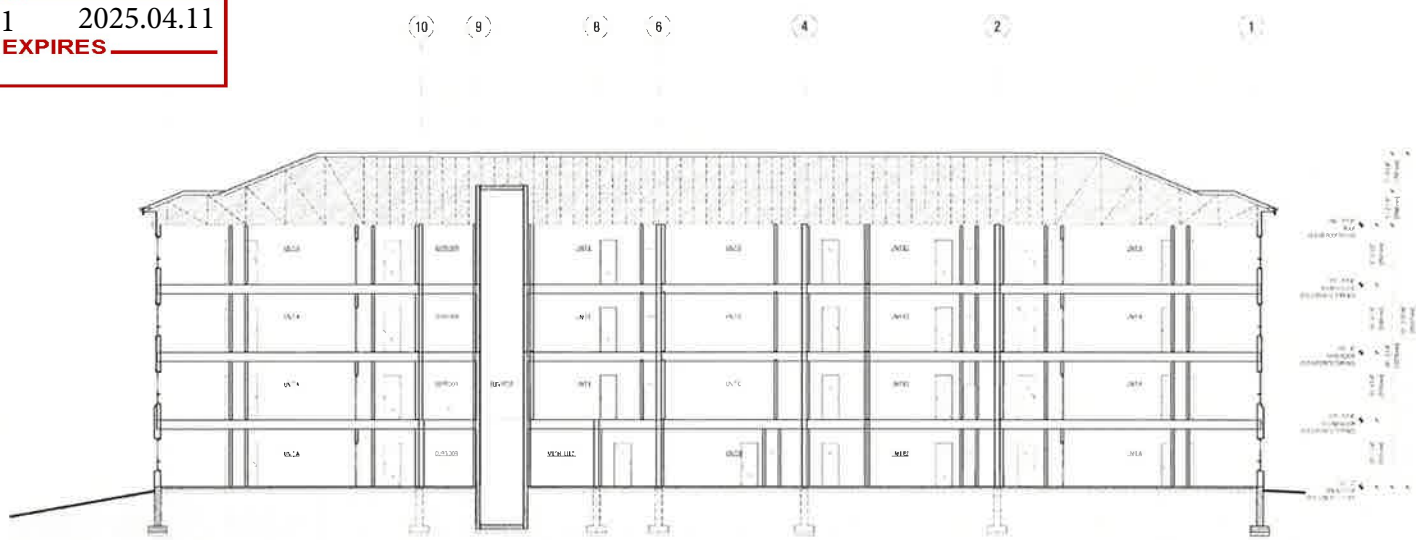


2 BUILDING 2 - BUILDING SECTION
 DP-52 1/8" = 1'-0"

**TOWN OF HIGH RIVER
 TENTATIVE APPROVAL ONLY
 CONDITIONS: SEE SCHEDULE A**

S. Noak

2025.03.21 2025.04.11
 VALID _____ EXPIRES _____



1 BUILDING 2 - BUILDING SECTION
 DP-52 1/8" = 1'-0"

ISSUED FOR / REVISIONS

NO.	DESCRIPTION	DATE
1	Issue for Permit Application	2024.03.21
2	Issue for Tentative Approval	2025.03.21
3	Issue for Construction	2025.04.11

Project Lead	Systemic
Drawn By	SA
Scale	1/8" = 1'-0"
Project Number	DP-52
Site/Client Address	750 1st Ave
Site Legal Description	100' x 100' x 100'
Development Permit	100000
Building Permit	1000000
Project Name	HIGHWOOD VILLAGE NORTH APARTMENTS
Architect	Systemic Architecture Inc.
Building Name	BUILDING 2 - BUILDING SECTIONS

SYSTEMIC Architecture Inc.

100 - 1415 Paragon Road W. Suite 1000
 Edmonton, Alberta T6E 6R6
 781 515 4001

Drawing: Building Section

DP-5.2 2

TOWN OF HIGH RIVER, ALBERTA

**PLAN SHOWING SURVEY OF
SITE PLAN AND ELEVATIONS**

OF

Unit 3, Plan 151 1184
WITHIN
S.W.1/4 Sec. 7, Twp.19, Rge.28 W. 4 M.

SCALE: 1:500

BY: HATHAN PRINS, A.L.S. 2024

LEGEND

Distances shown are in metres and decimals thereof.
Distances shown on curved boundaries are Arc Distances
Elevations are derived from ASCM 452559 = 1037.765
Bearings are Grid and derived from GPS observations
The Coordinate System used for this plan is:
Datum - North American Datum 1983
Projection - 3° Transverse Mercator
Reference Meridian - 114° West Longitude
Combined Scale Factor - 0.999741

- Elevations are shown thus:
- Catch basins are shown thus:
- Manholes are shown thus:
- Fire Hydrants are shown thus:
- Light Standards are shown thus:
- Power Poles are shown thus:
- Water Valves are shown thus:
- Signs are shown thus:
- Bollards are shown thus:
- Trees are shown thus:
- Faces of Curb lines are shown thus:
- Lip of Gutter lines are shown thus:
- Contour lines are at 0.25m intervals and shown thus:

PROPERTY IS SUBJECT TO REGISTERED DOCUMENTS.
CAVEATS REGISTERED AS No's: 151 010 416, 121 210 533, 151 020 816
UTILITY RIGHT OF WAYS REGISTERED AS No's: 751 026 608, 111 156 317, 111 285 811.
EASEMENTS REGISTERED AS No's: 111 285 813, 151 110 567.

ABBREVIATIONS

ASCM	Alberta Survey Control Marker	Res	Resjord
N	North	WLL	Witness
S	South	R	Radius
E	East	L	Acc Length
W	West	ha	Hectare
Sec	Section	Ac	Acre
Twp	Township	SpL	Spoke
Rge	Range	D41	Drill Hole
M	Meridian	m	Metres
Fa	Footed	B.O.C	Back of Curb
Pl	Placed	L.O.O	Lip of Gutter
I/Bor	Iron Bolt	WCR	Wheel Chair Ramp
Mk	Mark	CC	Curb Cut
Mp	Marker Post	CB	Catch Basin
C.S.	Countersunk	MH	Manhole
(B)	Magnetic Bearing	LS	Light Standard
R/W	Right-of-Way	WV	Water Valve
Re-est	Re-established	BM	Benchmark

The survey was performed on May 1, 2024
Certified Correct 11's 7th Day of May, 2024



Alberta Land Surveyor
ADDRESS OF SITE
204 HIGH COUNTRY DRIVE N.W.
CALGARY, ALBERTA

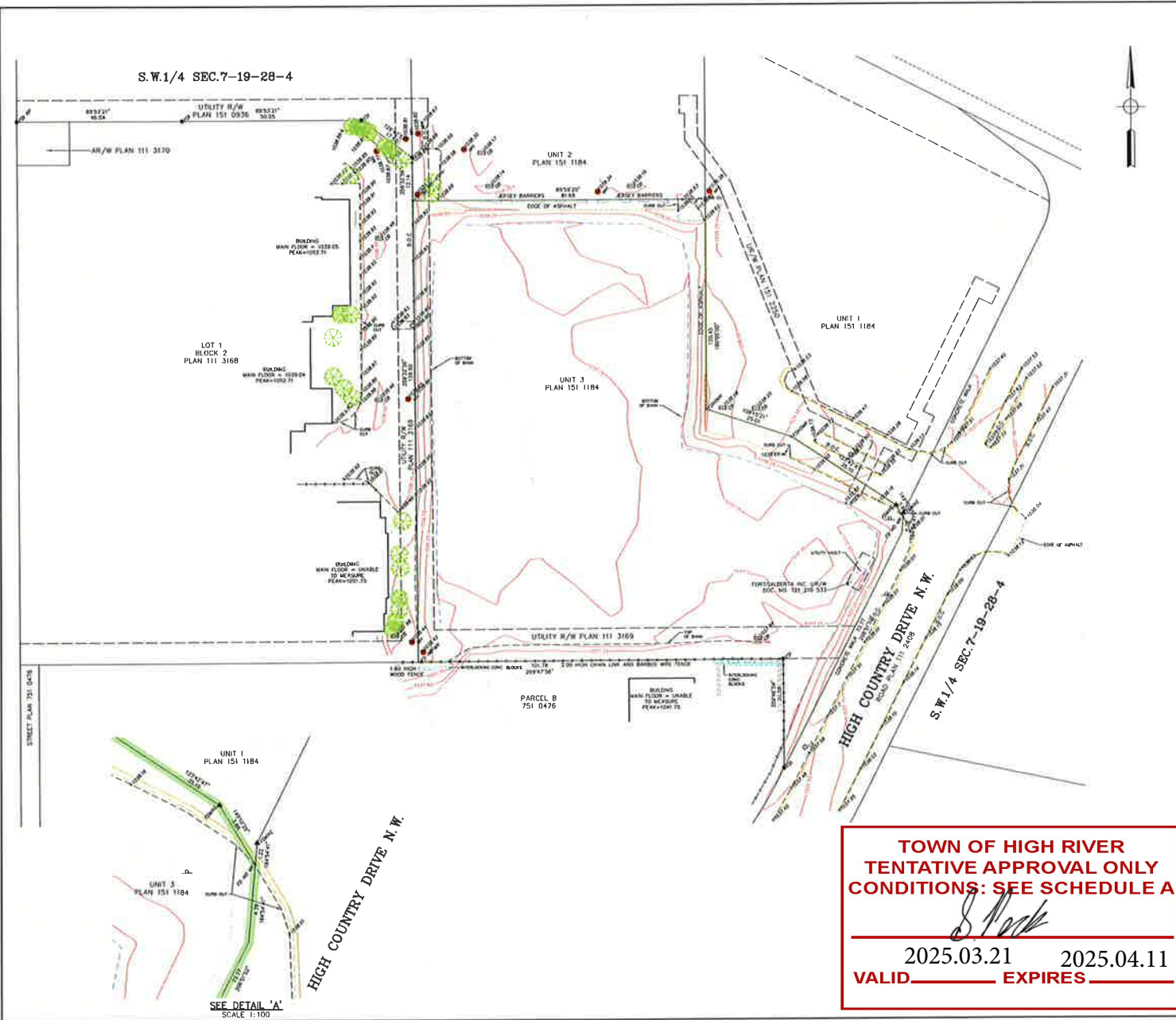
REGISTERED OWNERS
AS OF C. OF T. NO 171 094 795
SAGE CREEK DEVELOPMENTS (HIGH RIVER IS) LTD.

<p>TRONNES GEOMATICS 1001 10th Street S.E., Calgary, Alberta T2H 2Z6: 403-297-0200, FAX: 24-1150</p>	<p>CAUTION - PRIOR TO ANY CONSTRUCTION UNDERGROUND FACILITIES NEED TO BE LOCATED BY:</p> <p>CALL BEFORE YOU DIG 1-800-243-2447</p>	<p>ALBERTA 1 CALL CALL BEFORE YOU DIG 1-800-243-2447</p>

**TOWN OF HIGH RIVER
TENTATIVE APPROVAL ONLY
CONDITIONS: SEE SCHEDULE A**

S. Prins

2025.03.21 2025.04.11
VALID _____ EXPIRES _____



SEE DETAIL 'A'
SCALE: 1:100

TOWN OF HIGH RIVER
TENTATIVE APPROVAL ONLY
CONDITIONS: SEE SCHEDULE A

S. Heck

2025.03.21 2025.04.11
VALID **EXPIRES**



LEGEND

GRADING FEATURES

- PROPOSED CONCRETE SINK
- PROPOSED CATCH BASIN
- PROPOSED MANHOLE
- PROPOSED CURB/ANKLE
- PROPOSED ASPHALT PAVING
- PROPOSED CONCRETE
- PROPOSED ABSORBENT LANDSCAPE
- PROPOSED RETAINING WALL
- PROPOSED DRAINAGE DRAIN
- PROPOSED CHANNEL FENCE
- PROPOSED POST & RAIL FENCE
- PROPOSED SCREEN FENCE
- PROPOSED FINISHED GRADE
- EXISTING PL. GRADE

REVISIONS

NO.	DATE	DESCRIPTION	BY	CHKD.
1				
2				
3				
4				
5				

SUBMISSIONS

NO.	DESCRIPTION	DATE
1	FOR DP	2/25/2025
2	FOR APPROVAL	
3	FOR ARCHIVE	

CLIENT

partners
Development Group

PROJECT

DESCRIPTION: **HIGH RIVER PH 3 RESIDENTIAL**

LOT: 3 BLK: PLAN: 933 1104

OWNER: 204 HIGH COUNTRY DRIVE NW

LEGAL DESCRIPTION: SW 1/4 19-28-4

PRELIMINARY SITE GRADING (FOR DP)

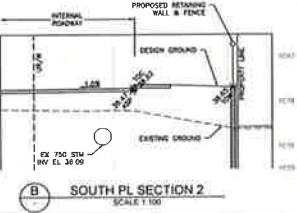
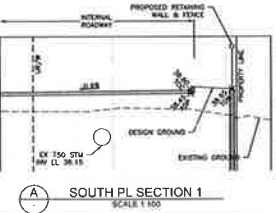
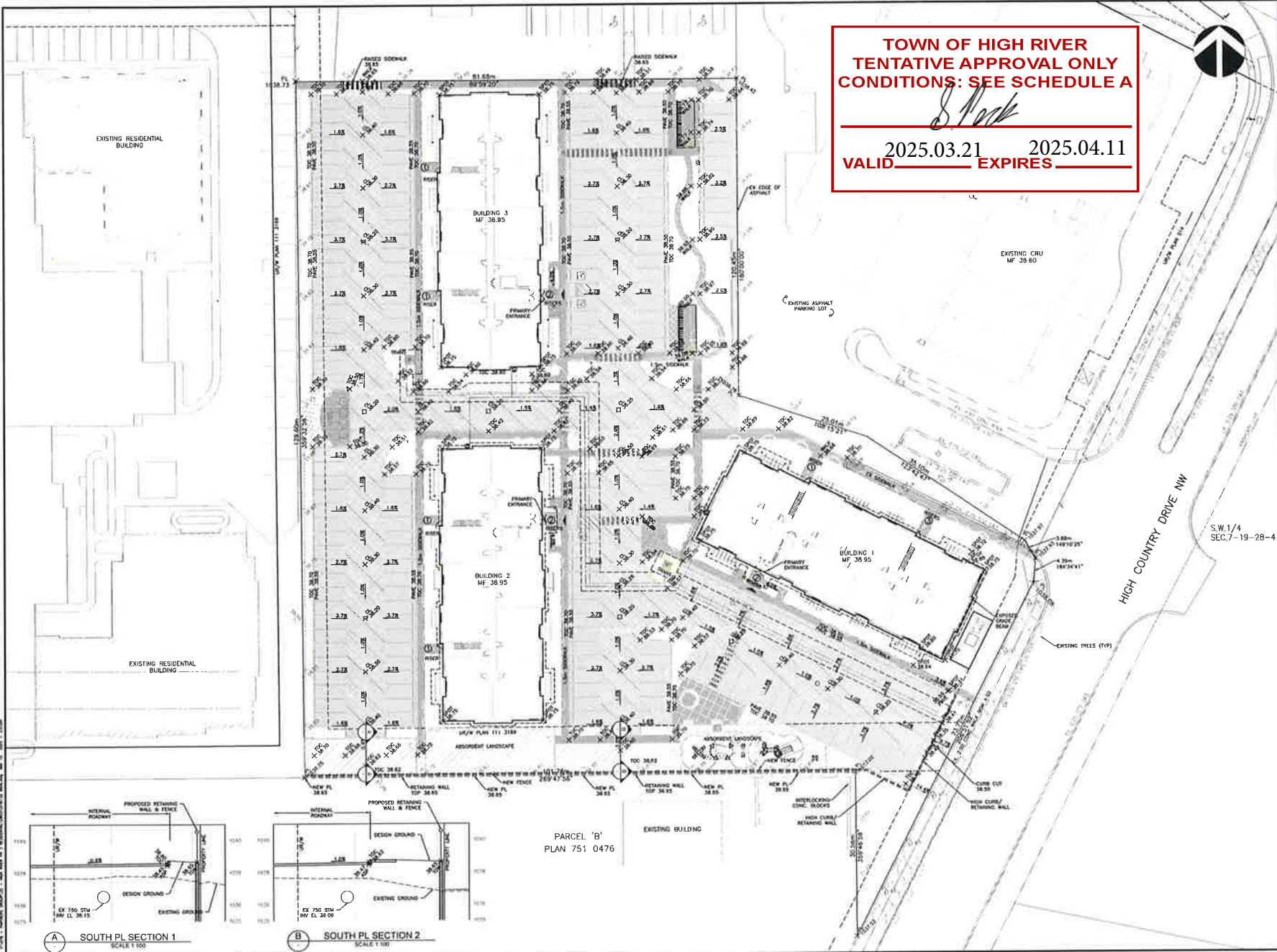
SCALE: 1/8" = 1'-0"	STAMP:
DRAWN: CW	
DESIGNED: TJS	
DATE: MAR 10 2025	
CHECKED: RB	
PROJECT: EY	

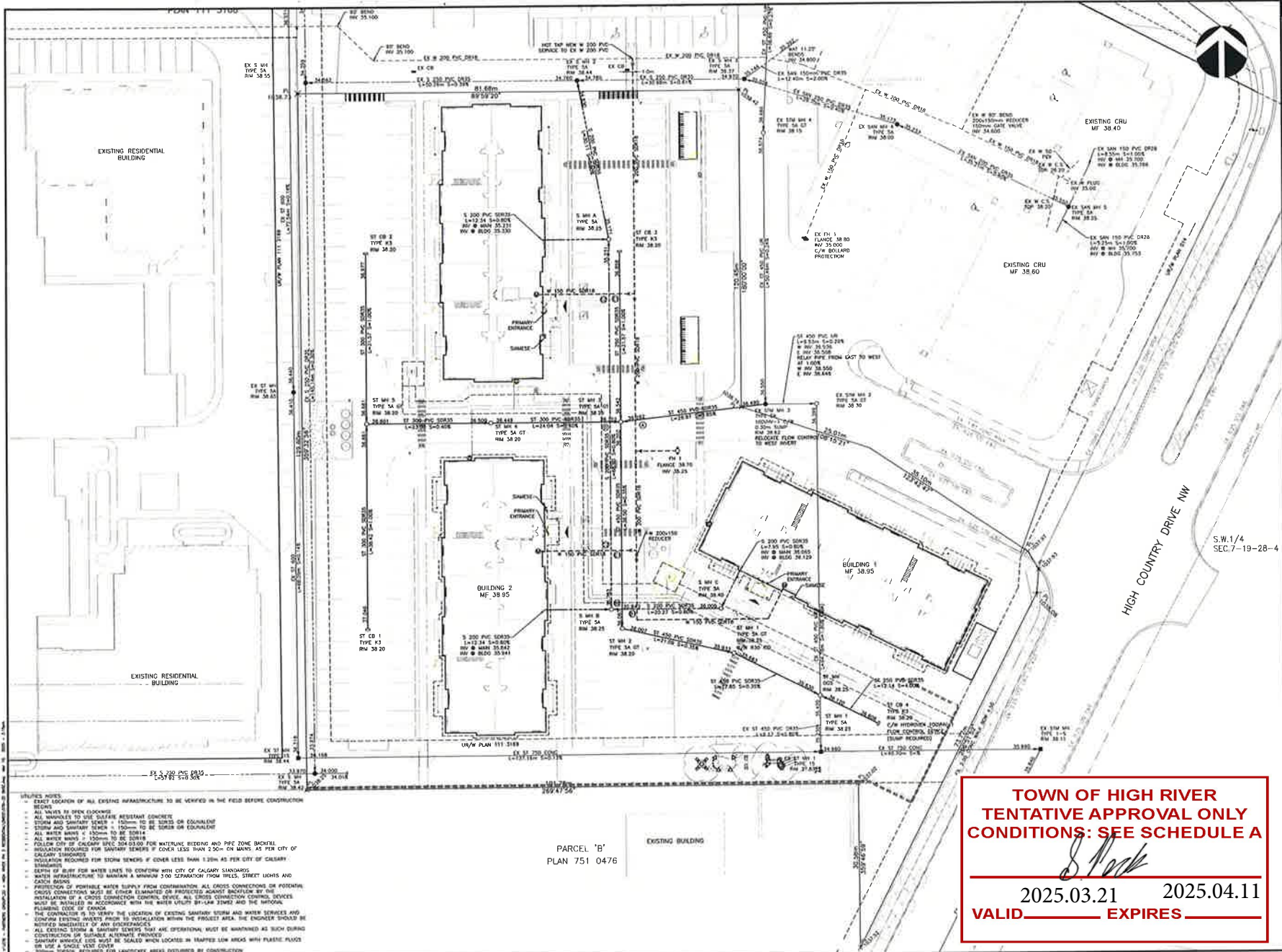
PERMIT TO PRACTICE
 VERITAS DEVELOPMENT SOLUTIONS LTD

Permit No: **MARCH 10, 2025**

PERMIT NUMBER: P 0005

The Association of Professional Engineers Geologists and Geophysicists of Alberta





LEGEND

EXISTING UTILITIES

- SANITARY SEWER
- STORM SEWER
- WATER LINE
- FENCE
- TYPE SA MANHOLE
- TYPE 15 MANHOLE
- CATCH BASIN
- HYDRANT
- WATER VALVE
- ELECTRIC
- Gas

PROPOSED UTILITIES

- SANITARY SEWER
- STORM SEWER
- WATER LINE
- FENCE
- TYPE SA MANHOLE
- CATCH BASIN/WASHOUT
- TYPE 15 MANHOLE
- CATCH BASIN
- HYDRANT
- X WATER VALVE
- WATER METER LOCATION
- CONCRETE TANK
- ELECTRIC METER LOCATION
- Gas METER LOCATION

REVISIONS

NO.	DESCRIPTION	BY	DATE
1			
2			
3			
4			
5			

SUBMISSIONS

NO.	DESCRIPTION	DATE
1	FOR DP	2025-03-21
2	FOR APPROVAL	
3	FOR ARCHIVE	

CLIENT
partners
 Development Group

PROJECT
 JOB DESCRIPTION:
HIGH RIVER PH 3 RESIDENTIAL

CD 1 PLAN 158 1124
 DATE: 2025
 ADDRESS: 204 HIGH COUNTRY DRIVE NW
 LEGAL DESCRIPTION: SW 16-19-28-W4M

DEVELOPMENT SITE SERVING (FOR DP)

SCALE: 1:300
 DATE: MAR 19, 2025
 BY: RB

PERMIT TO PRACTICE
 VERITAS DEVELOPMENT SOLUTIONS LTD.
 DATE: MARCH 10, 2025
 PERMIT NUMBER: P 60085
 The Association of Professional Engineers & Geoscientists and Geophysicists of Alberta

078-32
 078-32 BASE
 R 0

**TOWN OF HIGH RIVER
 TENTATIVE APPROVAL ONLY
 CONDITIONS: SEE SCHEDULE A**

S. Hoek

2025.03.21 2025.04.11

VALID _____ EXPIRES _____

PARCEL 'B'
 PLAN 751 0476

- UTILITIES NOTES:**
- EXACT LOCATION OF ALL EXISTING INFRASTRUCTURE TO BE VERIFIED IN THE FIELD BEFORE CONSTRUCTION BEGINS.
 - ALL MANHOLES TO BE OPEN EDGEWORK.
 - STORM AND SANITARY SEWERS - 150mm TO BE 300S OR EQUIVALENT.
 - STORM AND SANITARY SEWERS - 100mm TO BE 300S OR EQUIVALENT.
 - ALL WATER MAINS - 150mm TO BE 300S.
 - ALL WATER MAINS - 100mm TO BE 300S.
 - FOLLOW CITY OF CALGARY SPEC 204-21.00 FOR WATERLINE BIDDING AND PVC ZONE BACKFILL.
 - REGULATION REQUIRED FOR SANITARY SEWERS IF COVER LESS THAN 2.50m ON MAINS AT PER CITY OF CALGARY STANDARDS.
 - REGULATION REQUIRED FOR STORM SEWERS IF COVER LESS THAN 1.50m AS PER CITY OF CALGARY STANDARDS.
 - DEPTH OF BURIAL FOR WATER LINES TO CONFORM WITH CITY OF CALGARY STANDARDS.
 - WATER INFRASTRUCTURE TO MAINTAIN A MINIMUM 3.00 SEPARATION FROM TRUCK STREET LIGHTS AND CATCH BASINS.
 - PROTECTION OF POTENTIAL WATER SUPPLY FROM CONTAMINATION. ALL CROSS CONNECTIONS OR POTENTIAL CROSS CONNECTIONS MUST BE EITHER ISOLATED OR PROTECTED AGAINST BACKFLOW BY THE INSTALLATION OF A CROSS CONNECTION CONTROL DEVICE. ALL CROSS CONNECTION CONTROL DEVICES MUST BE INSTALLED IN ACCORDANCE WITH THE WATER UTILITY BY-LAW 21062 AND THE MISOCA PLUMBING CODE OF CANADA.
 - THE CONTRACTOR IS TO VERIFY THE LOCATION OF EXISTING SANITARY STORM AND WATER SERVICES AND COMPARE EXISTING PLANS PRIOR TO INSTALLATION WITHIN THE PROJECT AREA. THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
 - ALL EXISTING STORM & SANITARY LINES THAT ARE OPERATIONAL MUST BE MAINTAINED AS SUCH DURING CONSTRUCTION OR SUSCEPTIBLE AREAS PROVIDED.
 - SANITARY MANHOLE LIDS MUST BE SEALED WHEN LOCATED IN UNPAVED LOW AREAS WITH FLEECED FLOORS OR USE A SINGLE WIDE COVER.
 - 300mm TYPICAL REQUIRED FOR UNPAVED AREAS DISTURBED BY CONSTRUCTION.

DISCLAIMER
 ARCHITECTS SEAL

NOTES
 1. **Outstanding Plan**
 2. **Outstanding Plan**
 3. **Outstanding Plan**

PRELIMINARY
 NOT FOR CONSTRUCTION

Drawing (1 of 2) (DWG)
 1.1 Project Name
 1.2 Project Location
 1.3 Project Description
 1.4 Project Status
 1.5 Project Date
 1.6 Project Scale

ISSUED FOR REVISIONS
 1. **REVISION 1**
 2. **REVISION 2**
 3. **REVISION 3**
 4. **REVISION 4**
 5. **REVISION 5**

PI DESIGN
 PROJECT ARCHITECTS & ENGINEERS

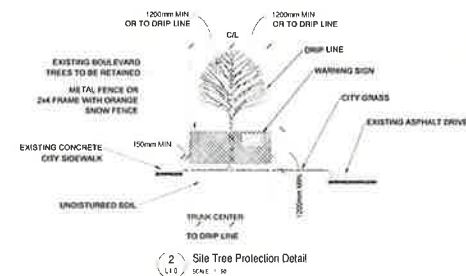
Highwood Village
 North Apartments

Site Context, Site
 Statistic

SYSTEMIC
 CONSULTANTS

L1.0

© 2015-16, Parsons Brinckerhoff
 2025.03.21 10:17:45 AM



2 Site Tree Protection Detail
 SCALE 1:10



3 Generic Public Tree Protection Detail
 SCALE 1:10

**TOWN OF HIGH RIVER
 TENTATIVE APPROVAL ONLY
 CONDITIONS: SEE SCHEDULE A**

S. Park

2025.03.21 2025.04.11
VALID EXPIRES

1 Overall Context Site Plan, Zoning, Existing Trees
 SCALE 1:15

Landmark Status	Required	Provided
Landscaped Area Minimum 45% of a parcel must be landscaped area	5.50%	5.50% (13,200 sqm)
Max Landscape Surface Area	N/A	75% (20,000 sqm) completed
Non-Permeable Hardscape Landscape Site Area	N/A	18.7%
Permeable Hardscape Landscape Site Area	N/A	81.3%
Shading Requirements: Required on 100% Common Access Space	13% (2,700 sqm)	13% (2,700 sqm)
Planting Requirements	Required	Provided
Min. 1 tree per 100 sqm of landscaped area	152	152 completed
Min. 1 shrub per 100 sqm of landscaped area	214	489 (150% of 214) surplus
Min. 75% of trees must be deciduous	115	112 completed
Minimum Tree Minimum Height of 2.0 metres and 10% Minimum in Diameter	112	112 completed
Total Deciduous Trees	112	112
Min. 25% of trees must be mature	40	40 completed
Continuous tree line & Minimum height of 2.0 metres at the line of planting	40	40 completed
Total Deciduous Trees	40	40
Total Trees	152	152
Ornamental grasses and perennials		482 surplus

Item	Requirement	Compliance
1	Landscaped Area Minimum 45% of a parcel must be landscaped area	compliant
2	Max Landscape Surface Area	compliant
3	Non-Permeable Hardscape Landscape Site Area	compliant
4	Permeable Hardscape Landscape Site Area	compliant
5	Shading Requirements: Required on 100% Common Access Space	compliant
6	Planting Requirements	compliant
7	Min. 1 tree per 100 sqm of landscaped area	compliant
8	Min. 1 shrub per 100 sqm of landscaped area	compliant
9	Min. 75% of trees must be deciduous	compliant
10	Minimum Tree Minimum Height of 2.0 metres and 10% Minimum in Diameter	compliant
11	Total Deciduous Trees	compliant
12	Min. 25% of trees must be mature	compliant
13	Continuous tree line & Minimum height of 2.0 metres at the line of planting	compliant
14	Total Deciduous Trees	compliant
15	Total Trees	compliant
16	Ornamental grasses and perennials	compliant
17	Residential Development with 2 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
18	Residential Development with 3 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
19	Residential Development with 4 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
20	Residential Development with 5 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
21	Residential Development with 6 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
22	Residential Development with 7 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
23	Residential Development with 8 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
24	Residential Development with 9 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
25	Residential Development with 10 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
26	Residential Development with 11 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
27	Residential Development with 12 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
28	Residential Development with 13 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
29	Residential Development with 14 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
30	Residential Development with 15 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
31	Residential Development with 16 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
32	Residential Development with 17 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
33	Residential Development with 18 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
34	Residential Development with 19 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
35	Residential Development with 20 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
36	Residential Development with 21 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
37	Residential Development with 22 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
38	Residential Development with 23 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
39	Residential Development with 24 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
40	Residential Development with 25 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
41	Residential Development with 26 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
42	Residential Development with 27 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
43	Residential Development with 28 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
44	Residential Development with 29 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
45	Residential Development with 30 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
46	Residential Development with 31 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
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49	Residential Development with 34 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
50	Residential Development with 35 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
51	Residential Development with 36 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
52	Residential Development with 37 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
53	Residential Development with 38 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
54	Residential Development with 39 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
55	Residential Development with 40 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
56	Residential Development with 41 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
57	Residential Development with 42 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
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60	Residential Development with 45 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
61	Residential Development with 46 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
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63	Residential Development with 48 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
64	Residential Development with 49 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
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67	Residential Development with 52 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
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69	Residential Development with 54 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
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79	Residential Development with 64 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
80	Residential Development with 65 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
81	Residential Development with 66 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
82	Residential Development with 67 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
83	Residential Development with 68 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
84	Residential Development with 69 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
85	Residential Development with 70 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
86	Residential Development with 71 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
87	Residential Development with 72 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
88	Residential Development with 73 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
89	Residential Development with 74 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
90	Residential Development with 75 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
91	Residential Development with 76 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
92	Residential Development with 77 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
93	Residential Development with 78 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
94	Residential Development with 79 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
95	Residential Development with 80 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
96	Residential Development with 81 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
97	Residential Development with 82 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
98	Residential Development with 83 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
99	Residential Development with 84 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant
100	Residential Development with 85 Dwelling Units less than 100 sqm must include a minimum of 1 tree per unit	compliant

THE PROPOSED LANDSCAPE SITE PLAN INCLUDES SURPLUS AND VARIANCE IN STATISTICS

LANDSCAPE:

- Landscaped Area Minimum 45% of a parcel must be landscaped area
- Max Landscape Surface Area
- Non-Permeable Hardscape Landscape Site Area
- Permeable Hardscape Landscape Site Area
- Shading Requirements: Required on 100% Common Access Space

PLANTING:

- Min. 1 tree per 100 sqm of landscaped area
- Min. 1 shrub per 100 sqm of landscaped area
- Min. 75% of trees must be deciduous
- Minimum Tree Minimum Height of 2.0 metres and 10% Minimum in Diameter

NOTES:

- Min. 25% of trees must be mature
- Continuous tree line & Minimum height of 2.0 metres at the line of planting
- Total number of trees
- Total number of grass and perennials

NOTE: PLEASE REFER TO THE PROPOSED SITE STATISTICAL SURVEY IN RETURN FOR THE PROPOSED LANDSCAPE AREA SURFACE VARIANCE

DISCLAIMER
 This drawing is prepared for the use of the client and is not to be used for any other purpose without the written consent of the architect. The architect is not responsible for any errors or omissions in this drawing. The client is responsible for providing accurate information and for obtaining all necessary permits and approvals. The architect is not responsible for any construction or other work that is not shown on this drawing.

ARCHITECT'S SEAL

NOTES

PRELIMINARY
 NOT FOR CONSTRUCTION



1.4.1 Planting Plan overlaid with Servicing Plan
 SCALE: 1" = 30'



1.4.2 Planting Plan overlaid with Grading Plan
 SCALE: 1" = 30'

TOWN OF HIGH RIVER
TENTATIVE APPROVAL ONLY
CONDITIONS: SEE SCHEDULE A

S. Heck

2025.03.21 2025.04.11
VALID **EXPIRES**

LEGEND

Area of Tree Protection	Water Poles 12" Large Light Duty
SOFT-USEABLE LANDSCAPING	Rock Aggregate 1/2" Overlap Dark Gray Pavers
Soil	
Dark Mulch	
Native Grass Mix	
Perennial Ground Plants	
Shrub and Tree - Free Planting - TSD	
Playground surface over mulch (Play Rocks / Bark Mulch / Other) - TSD	
HARD-USEABLE LANDSCAPING	
Asphalt	
Concrete	
NON-LANDSCAPED AREAS	
Proposed Curved Landscaping Area	
Days Outside of Property Line	
Utility Shallow Cuts	
Building	
Transformer	
Rock Retainer	
Planting Grids	
East Retaining Wall	
LINE SIZES	
Sublot Property Lines	
Adjacent Property Lines	
Customer's Property Lines	
Utility Lines - Overhead	
Utility Lines - Underground	
Fence (48" High Plus Maximum or TSD)	
View Line Projection Fence	
Light Cuts	
Light to Electrical	
Signal Light	
Light to Electrical	
Approximate 10% ground line for Approximate 10% ground line	

PI DESIGN
 PLANNING & DESIGN SERVICES

3150 University Ave. SW
 Denver, Colorado 80202
 303.733.4321

Highwood Village North Apartments

Planting Plan
 Overlaid with
 Grading and
 Utilities Plan

SYSTEMIC

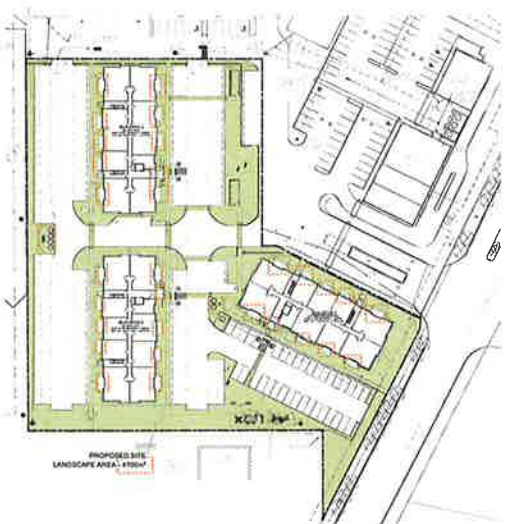
L1.4

DISCLAIMER
 ARCHITECT'S SEAL

NOTES

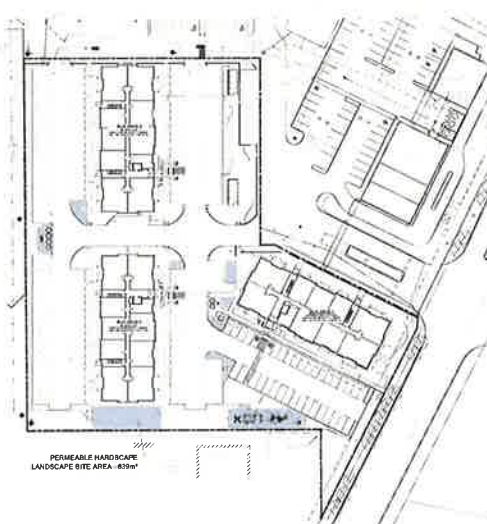
PRELIMINARY
 NOT FOR CONSTRUCTION

True North



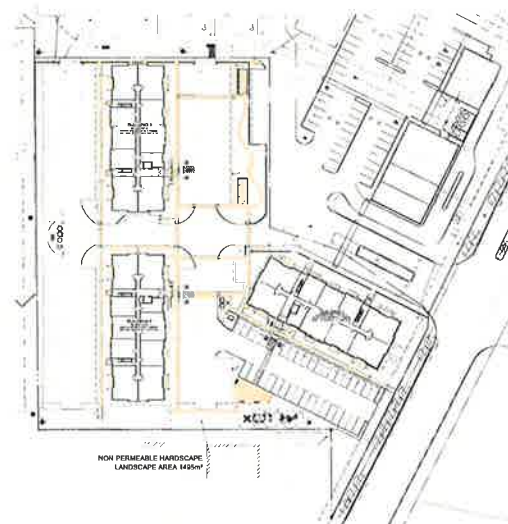
PROPOSED SITE
 LANDSCAPE AREA: 4700m²

1 Landscape Site Area - 4700m²
 SCALE: 1:800



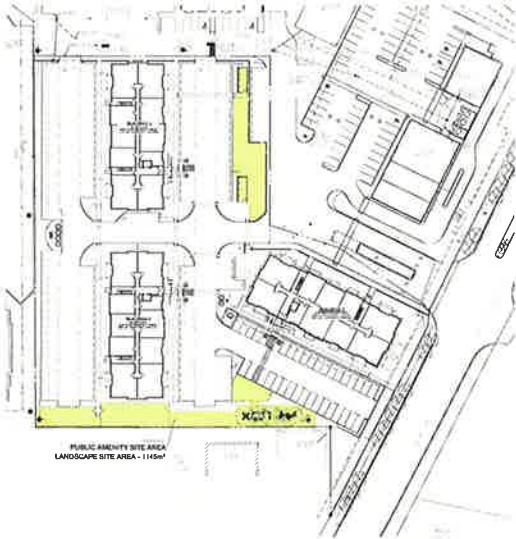
PERMEABLE HARDSCAPE
 LANDSCAPE SITE AREA: 639m²

3 Permeable Hardscape Landscape Site Area - 639m² (Aggregates)
 SCALE: 1:800



NON PERMEABLE HARDSCAPE
 LANDSCAPE AREA: 1495m²

2 Non-Permeable Hardscape Landscape Site Area - 1495m² (Concrete)
 SCALE: 800



PUBLIC AMENITY SITE AREA
 LANDSCAPE SITE AREA: 1145m²

4 Public Amenity Site Area - 1145m²
 SCALE: 1:800

**TOWN OF HIGH RIVER
 TENTATIVE APPROVAL ONLY
 CONDITIONS: SEE SCHEDULE A**

S. Hoek

2025.03.21 2025.04.11
VALID EXPIRES

LEGEND	LINE TYPES
Proposed Site Landscape Area	Subject Property Lines
Non-permeable hardscape surfaces	Adjacent Property Lines
Permeable hardscape surfaces	City Limits / Neighbourhood Level / Campus
Public Amenity Site Area	Utility Lines - Overhead
	Utility Lines - Underground
	Public Works / P.U. / Municipal

NO.	DESCRIPTION	DATE
1	Issue for Review	2024.03.15
2	Issue for Review	2024.03.15
3	Issue for Review	2024.03.15
4	Issue for Review	2024.03.15
5	Issue for Review	2024.03.15
6	Issue for Review	2024.03.15
7	Issue for Review	2024.03.15
8	Issue for Review	2024.03.15
9	Issue for Review	2024.03.15
10	Issue for Review	2024.03.15

ISSUED FOR PREVISIONS

PI DESIGN
 LANDSCAPE ARCHITECTS

300 Commercial Street
 Suite 100
 High River, Alberta T8H 1R4
 Canada

Author: [Name]
 Designer: [Name]
 Checker: [Name]
 Date: [Date]

Highwood Village
 North Apartments

Project No: [Number]

Landscape Area
 Calculation

Scale: 1:800

Project Location: [Address]

Client: [Name]

Date: [Date]

Sheet No: [Number]

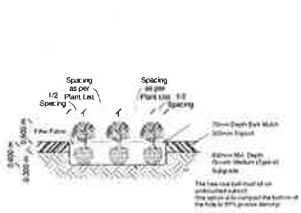
L1.5

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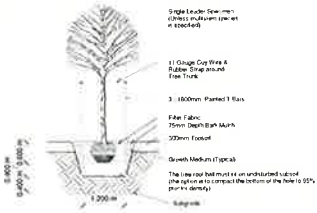
ARCHITECTS SEAL

NOTES

PRELIMINARY
 NOT FOR CONSTRUCTION



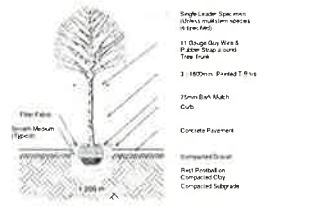
1 Shrub Planting
 SCALE 1:10



2 Deciduous Tree Planting
 SCALE 1:10



3 Coniferous Tree Planting
 SCALE 1:10



4 Island Tree Planting
 SCALE 1:10



5 Landscape Bench Maglin 720
 SCALE NTS



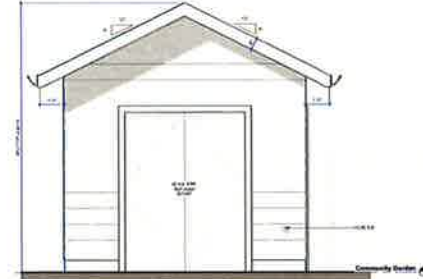
MRR-150-00017

1500 Series - Laxicon Recycle Receptacle: Steel Frame, Laser Cut and Formed Steel Side Panels, Metal Lids, Front Opening, 2 Streams, 1 x 32 and 1 x 16 Gallon Polyethylene Liners, Vinyl Graphics, Rain Shield

19' (483cm) 47.5' (1107cm) 35' (889cm) 259 9/16" (6592mm)



6 Litter, Recycling Receptacle, (Maglin MRR-150)
 SCALE NTS



7 Garden Shed (TYP)
 SCALE NTS



8 Picnic Table
 SCALE NTS



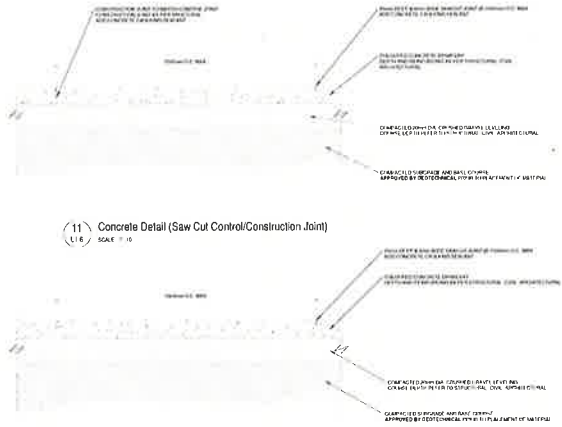
NR-5177R
 Steel Blue

9 Interstar NR 5177R Steel Blue 1 bag
 SCALE NTS



NR-5790R
 Black Onyx

10 Interstar NR 5790R Black Onyx 3 bags
 SCALE NTS



11 Concrete Detail (Saw Cut Control/Construction Joint)
 SCALE 1:10

12 Concrete Detail (Saw Cut Control Joint)
 SCALE 1:10

TOWN OF HIGH RIVER
TENTATIVE APPROVAL ONLY
CONDITIONS: SEE SCHEDULE A

S. Mack

VALID 2025.03.21 2025.04.11
EXPIRES

ISSUED FOR REVISIONS

1. Project Name	Highwood Village North Apartments
2. Project No.	2024-001
3. Project Location	Highwood Village North
4. Project Date	2024-03-15
5. Project Status	Approved
6. Project Manager	J. Smith
7. Project Engineer	D. Jones
8. Project Designer	P. Lee
9. Project Checker	M. Kim
10. Project Approver	K. Brown
11. Project Seal	Professional Engineer
12. Project License No.	12345

PI DESIGN
 ARCHITECTS & ENGINEERS

Highwood Village North Apartments
 Landscape Details

SYSTEMIC

L1.6

